



**OHIO TURNPIKE AND  
INFRASTRUCTURE COMMISSION**

**ADDENDUM NO. 1**  
**ISSUED JUNE 21, 2021**

to

**RFP NO. 7-2021**  
**FOR FOOD AND RETAIL CONCESSIONS OPERATIONS AT THE  
ERIE ISLANDS/COMMODORE PERRY SERVICE PLAZAS**

**PROPOSAL DUE DATE: 5:00 P.M. (EASTERN TIME), JULY 30, 2021**

**ATTENTION OF RESPONDENTS IS DIRECTED TO:**  
**ANSWERS TO QUESTIONS RECEIVED THROUGH 12:00 PM ON JUNE 21, 2021**

Issued by the Ohio Turnpike and Infrastructure Commission through Jennifer L. Stueber, Esq., General Counsel.

Jennifer L. Stueber, Esq.,  
General Counsel

June 21, 2021  
Date

**ANSWERS TO QUESTIONS RECEIVED THROUGH 12:00 P.M. ON JUNE 21, 2021:**

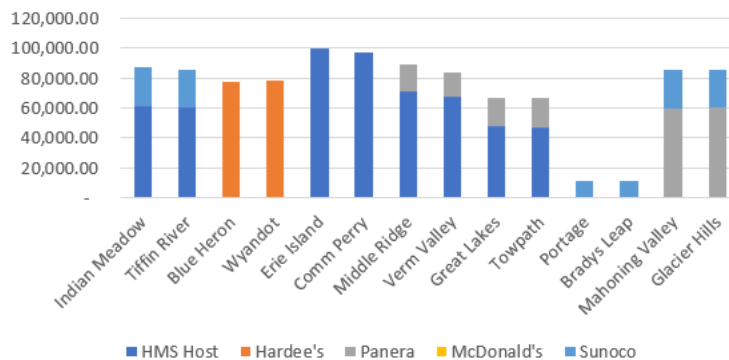
**Q#1 I am requesting an existing foodservice tenant as-built dimensioned floor plan. Thank you in advance for your assistance. This will assist us in our bidding process.**

*A#1 The floor plans for the food and retail concessions units at the services plazas are issued with this Addendum No. 1.*

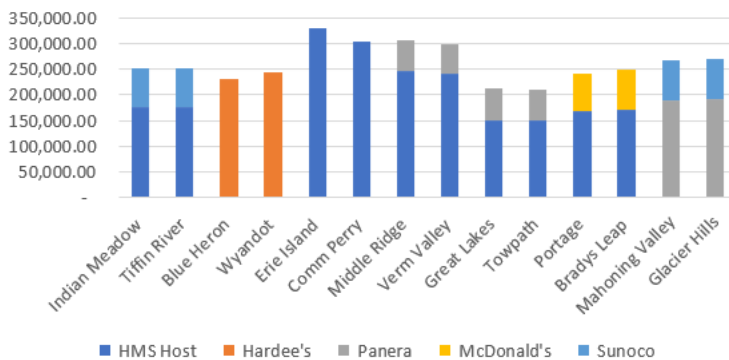
**Q#2 We note that Common Area Maintenance Fees will be split 50:50 with the Commission. Is there an annual estimate that you can provide for these costs?**

*A#2 Below is a chart showing CAM Fees billed in 2019 and MTD 2021. (2020 intentionally omitted).*

2021 YTD CAM Charges Billed Thru 04/30/2021



2019 YTD CAM Charges Billed Thru 12/31/2019





Location:	Comm Perry	Erie Island
Month		
Jan	\$ 25,247.24	\$ 27,015.64
Feb	24,208.92	26,153.66
Mar	24,208.92	26,153.66
Apr	25,277.08	27,973.36
May	24,925.38	28,570.28
June	26,728.58	29,802.35
July	28,983.55	30,510.03
Aug	27,620.34	30,349.08
Sept	26,267.60	28,122.38
Oct	25,230.00	27,260.27
Nov	24,419.60	25,378.62
Dec	22,065.55	23,131.86
<b>Total</b>	<b>\$ 305,182.76</b>	<b>\$ 330,421.19</b>

**Q#3 Can the Commission provide a version of the site drawings/floor plans which includes the floor areas for the current food and beverage units at the plazas?**

*A#3 See response to Q#1.*

**END OF ADDENDUM NO. 1**



# THE JAMES W. SHOCKNESSY OHIO TURNPIKE

# Sandusky County, Ohio

# Erie Islands & Commodore Perry Contract No. 53-12-02

DATE \_\_\_\_\_

NOTES:

1. FOR ADDITIONAL REFERENCE THE CONSTRUCTION INDUSTRY STANDARDS C.S.I DOCUMENT TD - 2-4 ABBREVIATIONS.
2. THIS LEGEND DOES NOT ASSUME THAT ALL ABBREVIATIONS ARE USED.

The map displays the Erie Islands and Commodore Perry area in Ohio. The Ohio Turnpike (I-190) is shown running diagonally from the top left to the bottom right. The Erie Islands are circled in black, and Commodore Perry is labeled. Surrounding roads include State Route 412, County Road 260, County Road 412, County Road 227, County Road 387, County Road 231, County Road 213, and County Road 150. An inset map on the right shows the location of the area within the state of Ohio, with a box highlighting the specific region. The inset map also shows the Ohio Turnpike and Service Plaza 4 (SP4).

SECTION		SECTION CUT INDICATOR			
			UNDISTURBED EARTH OR UNDISTURBED SUBGRADE		CONTINUOUS WOOD FRAMING
	MATCH LINE		MATCH LINE INDICATOR		WOOD BLOCKING
					PLYWOOD
					PARTICLE/FIBER BOARD
					FINISHED WOOD
					BATT INSULATION
					RIGID INSULATION
					LATH AND PLASTER
					GYPSUM BOARD
					CERAMIC TILE
					TERRAZZO
					ACOUSTICAL CEILING
					CARPET
					ORNAMENTAL METAL
					</

DWG. NO.	DRAWING NAME	DWG. NO. IN SET
T-1	TITLE SHEET AND PROJECT INFORMATION	1 of 27
AD-1	FIRST FLOOR DEMOLITION PLAN	2 of 27
A1.0	BASEMENT PLAN / ROOM FINISH SCHEDULE	3 of 27
A1.1	FIRST FLOOR PLAN	4 of 27
A2.0	REFLECTED CEILING PLANS	5 of 27
A2.1	REFLECTED CEILING PLANS	6 of 27
A4.0	EXTERIOR ELEVATIONS	7 of 27
A4.1	EXTERIOR ELEVATIONS	8 of 27
A5.0	EXTERIOR WALL SECTIONS	9 of 27
A5.1	EXTERIOR WALL SECTIONS	10 of 27
A5.2	EXTERIOR WALL SECTIONS	11 of 27
A6.0	ENLARGED PLANS	12 of 27
A6.1	TOILET ROOM ELEVATIONS	13 of 27
A7.0	FIRST FLOOR FINISH PLAN	14 of 27
A7.1	INTERIOR ELEVATIONS AND DETAILS	15 of 27
A7.2	INTERIOR ELEVATIONS AND DETAILS	16 of 27
A7.3	INTERIOR ELEVATIONS AND DETAILS	17 of 27
A7.4	NEW GIFT SHOP PLAN & ELEVATIONS	18 of 27
A8.0	FIRST FLOOR INTERIOR SIGNAGE PLAN	19 of 27
A8.1	BASEMENT SIGNAGE PLAN AND SIGN DETAILS	20 of 27
S1.1	FOUNDATION, FRAMING PLAN AND SECTIONS	21 of 27
E0.1	EXISTING LIGHTING AND DEMOLITION PLAN	22 of 27
E0.2	EXISTING POWER AND DEMOLITION PLAN	23 of 27
E1.1	LIGHTING PLAN	24 of 27
E2.1	POWER PLAN	25 of 27
E3.1	RESTROOMS PLUMBING AND ELECTRICAL PLANS	26 of 27
E3.2	ELECTRICAL SCHEDULES AND DETAILS	27 of 27
	SITE ELECTRICAL PLANS - FOR INFORMATION ONLY	(2 SHEETS)

**OWNER**  
THE OHIO TURNPIKE COMMISSION  
682 PROSPECT STREET  
BEREA, OHIO 44107  
440.234.2081 (PH)  
440.234.4582 (FAX)

**ARCHITECT**  
RICHARD L. BOWEN + ASSOCIATES INC.  
13000 SHAKER BOULEVARD  
CLEVELAND, OHIO 44120  
216.491.9300 (PH)  
216.491.8053 (FAX)

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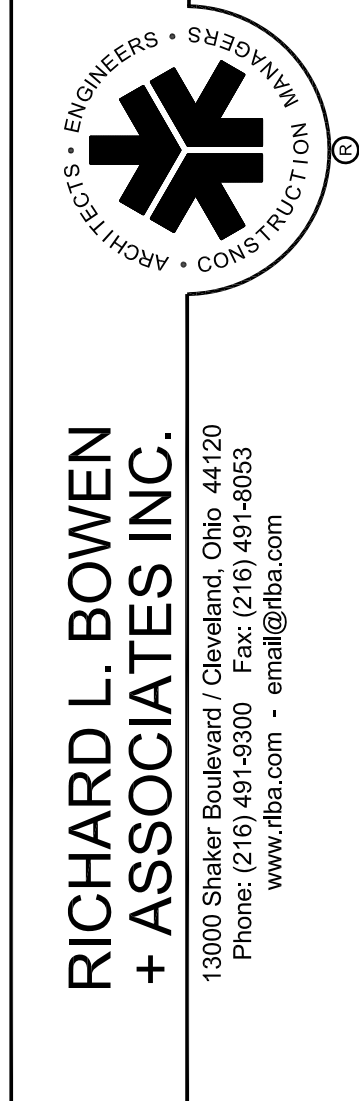
OHIO TURNPIKE COMMISSION  
SERVICE PLAZA RENOVATIONS  
Erie Islands and Commodore Perry  
Milepost 100 - Sandusky County, Ohio

DRAWN BY:	CB
CHECKED BY:	KJE
RLB NO.:	6744.09
OTC NO.:	53-12-02
SERVICE PLAZA	SP-4
DRAWING NO.	T1.1
SHT.	1 OF 27





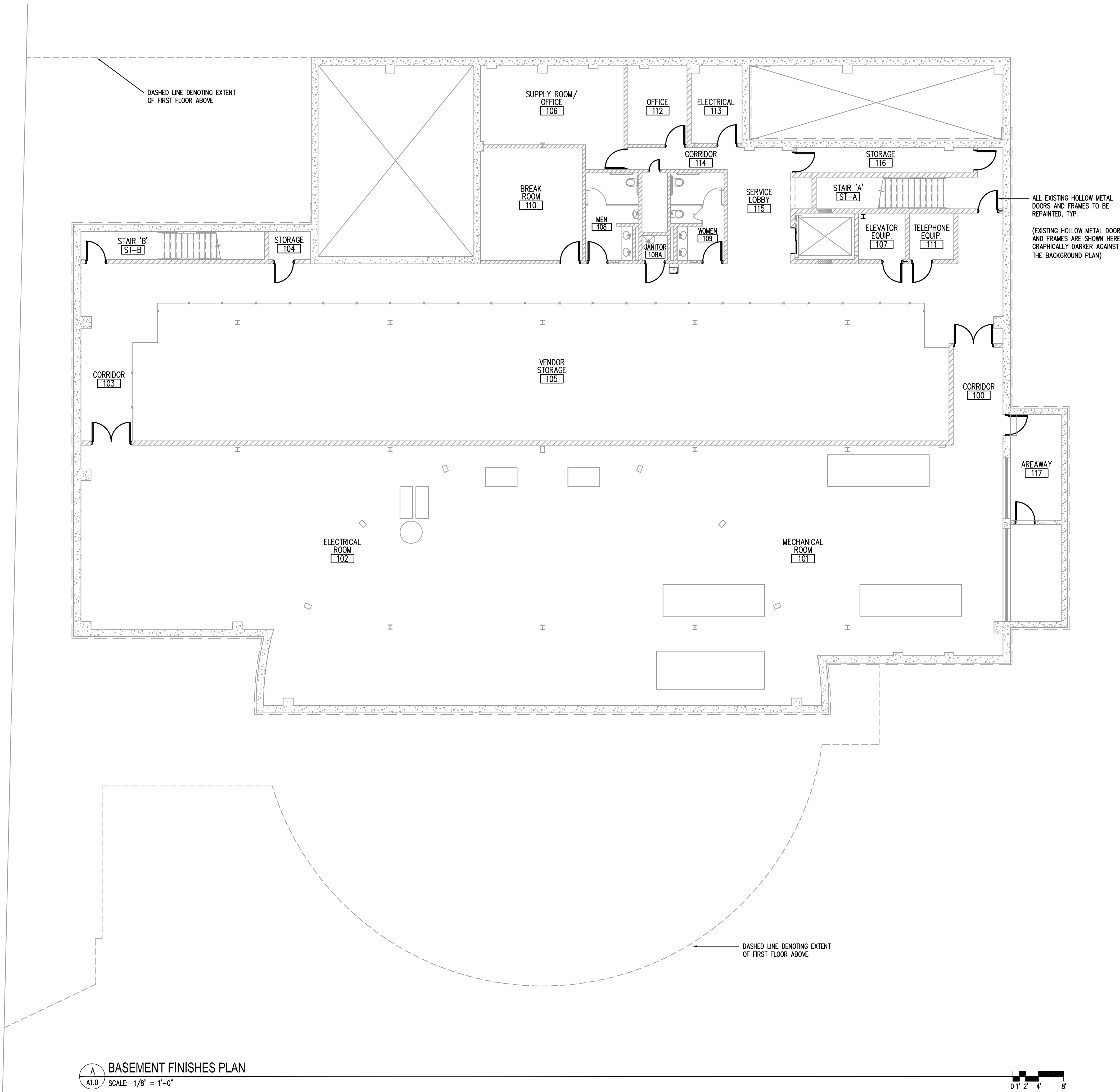
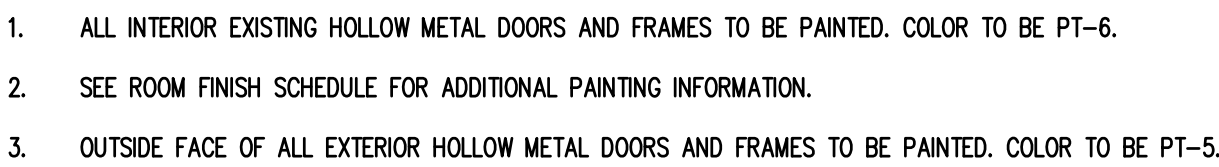




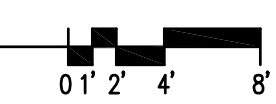
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RLB NO.:	6744.09
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DRAWING NO.	
<b>A1.0</b>	
SHT.	3 OF 27

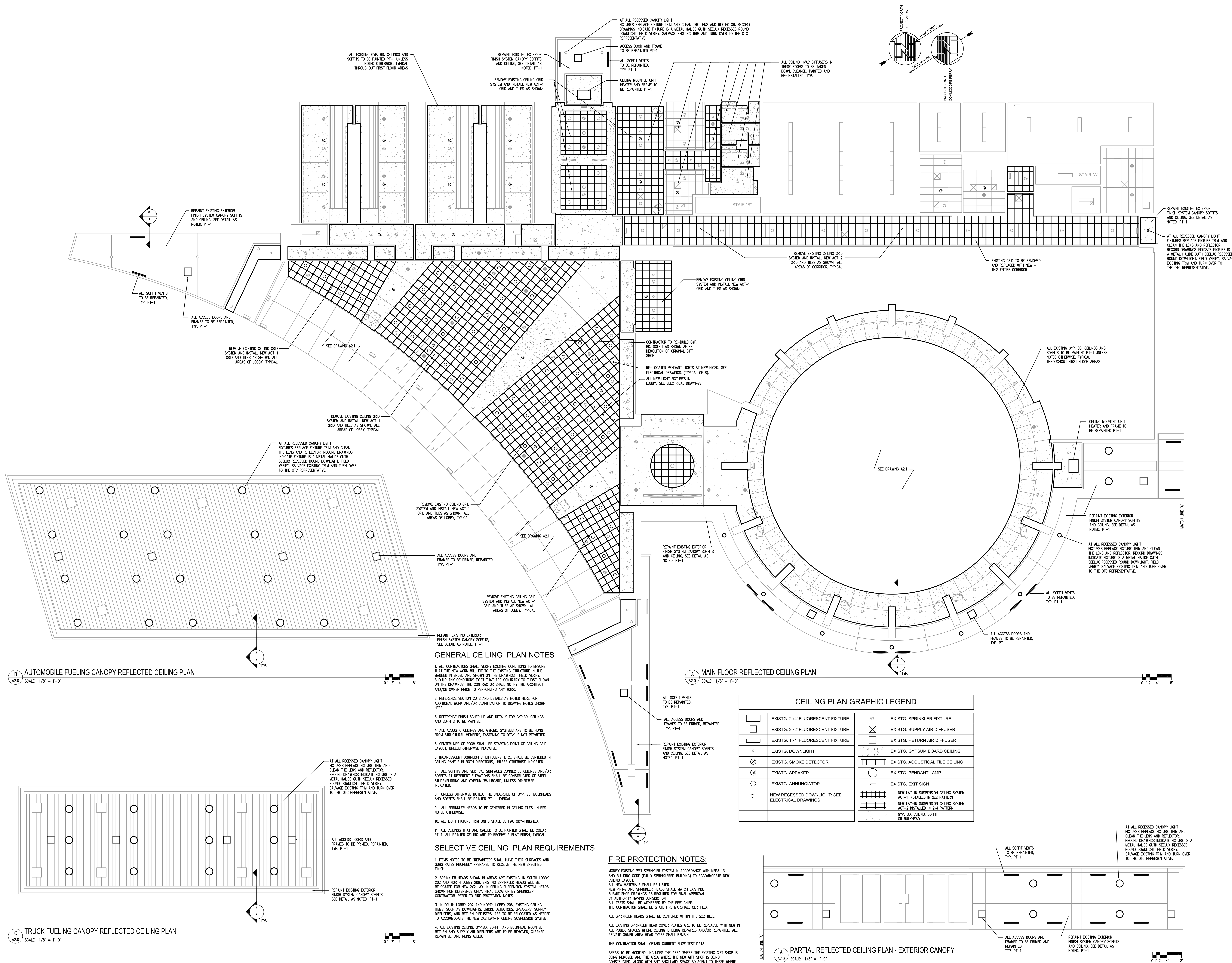
ABBREVIATIONS	
ACT	ACOUSTIC CEILING TILE
OMT	CERAMIC MOSAIC TILE
PL	PLASTIC LAMINATE
CMU	CONCRETE MASONRY UNIT
CPT	CARPET TILE
CT	CERAMIC TILE
PT	PANET
EXP	EXPOSED
GYP. BD.	GYP-SUM BOARD
RB	RUBBER BASE
EXST	EXISTING
SSM	SOLID SURFACE MATERIAL
UCT	UNIT COMPOSITE TILE
ETR	EXISTING TO REMAIN















1. ALL CONTRACTORS SHALL VERIFY EXISTING CONDITIONS TO INSURE THAT THE NEW WORK WILL FIT TO THE EXISTING STRUCTURE IN THE MANNER INTENDED AND SHOWN ON THE DRAWINGS. FIELD VERTY, FIELD VERTY, SHOWN ON THE DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE TO SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND OWNER IMMEDIATELY IN WRITING OF ANY DISCREPANCIES.
2. REFERENCE SECTION CUTS AND DETAILS AS NOTED HERE FOR ADDITIONAL WORK AND/OR CLARIFICATION TO DRAWING NOTES SHOWN HERE TO BE FURNISHED.
3. REFERENCE FINISH SCHEDULE AND DETAILS FOR GYPSUM, CEILINGS AND SUFFITS TO BE PAINTED.
4. ALL ACOUSTIC CEILING AND GYPSUM SYSTEMS ARE TO BE HUNG FROM STRUCTURAL MEMBERS, FASTENING TO DECK IS NOT PERMITTED.
5. CENTRIFUGES OF ROOM SHALL BE STARTING POINT OF CEILING GRID LAYOUT, UNLESS OTHERWISE INDICATED.
6. INCARCERATION DOCUMENTS, DIFFUSERS, ETC. SHALL BE CENTERED IN THE PANELS WITH BOTH CLOSURES, UNLESS OTHERWISE INDICATED.
7. ALL SUFFITS AND OVERLAP SURFACES CONNECTED CEILINGS AND/OR SUFFITS AT DIFFERENT ELEVATIONS SHALL BE CONSTRUCTED OF STEEL STUDS CONNECTING TO CEILING WALLBOARD, UNLESS OTHERWISE INDICATED.
8. UNLESS OTHERWISE NOTED, THE UNDERSIDE OF GYP. BD, BLUKNESHS AND SUFFITS SHALL BE PAINTED P1-1, TYPECODE.
9. ALL SPRINKLER HEADS TO BE CENTERED IN CEILING TILES UNLESS NOTED OTHERWISE.
10. LIGHT FIXTURE TRIM SHALL BE FACTORY-FINISHED.
11. ALL CEILINGS THAT ARE CALLED TO BE PAINTED SHALL BE COLOR P1-1. PAINTED CEILING ARE TO RECEIVE A FLAT FINISH, TYPE.

## SELECTIVE CEILING / PLAIN REQUIREMENTS

1. ITEMS NOTED TO BE "REPAINTED" SHALL HAVE THEIR SURFACES AND SUBSTRATES PROPERLY PREPARED TO RECEIVE THE NEW SPECIFIED FINISH.
2. SPRINKLER HEADS SHOWN IN AREAS ARE EXISTING IN SOUTH LOBBY NORTH 2007 2008, EXISTING SPRINKLER HEADS WILL BE RELOCATED FOR NEW 2012 LAY-IN CEILING SUSPENSION SYSTEM. HEADS SHOWN FOR REFERENCE ONLY. LOCATION BY SPRINKLER CONTRACTOR TO BE DETERMINED.
3. IN SOUTH LOBBY 2002 AND NORTH LOBBY 2008, EXISTING CEILING SYSTEMS, SUCH AS DOWNLIGHTS, SMOKE DETECTORS, SPEAKERS, SUPPLIES, DIFFUSERS, AND RETURN OUTTAKES, ARE TO BE RELOCATED AS NEEDED TO ACCOMMODATE THE NEW 2012 LAY-IN CEILING SUSPENSION SYSTEM.
4. ALL EXISTING CEILING, GYPSUM, SOFTWALL AND BULKHEAD MOUNTED EQUIPMENT, SUPPLY AIR DIFFUSERS ARE TO BE REMOVED, CLEANED, REPAINTED, AND REINSTALLED.
5. ALL EXISTING SPRINKLER HEAD COVER PLATES ARE TO BE REPLACED WITH NEW IN ALL PUBLIC SPACES WHERE CEILING IS BEING REPAINTED AND REPAINTED. ALL PRIVATE OWNER AREA HEAD TYPES SHALL REMAIN.

**FIRE PROTECTION NOTES:**

WYDOSTE MIST SPRINKLER SYSTEM IN ACCORDANCE WITH NFPA 13  
AND BUILDING CODE (FULLY SPRINKLED BUILDING) TO ACCOMMODATE NEW  
CEILING LAYOUT.

NO NEW MATERIALS SHALL BE USED.

NEW PRING AND SPRINKLER HEADS SHALL MATCH EXISTING.


















SUBMIT SHOP DRAWINGS AS REQUIRED FOR FINAL APPROVAL  
BY AUTHORITY HAVING JURISDICTION.

ALL TESTS SHALL BE WITNESSED BY THE FIRE CHIEF.  
THE CONTRACTOR SHALL BE STATE FIRE MARSHALL CERTIFIED.

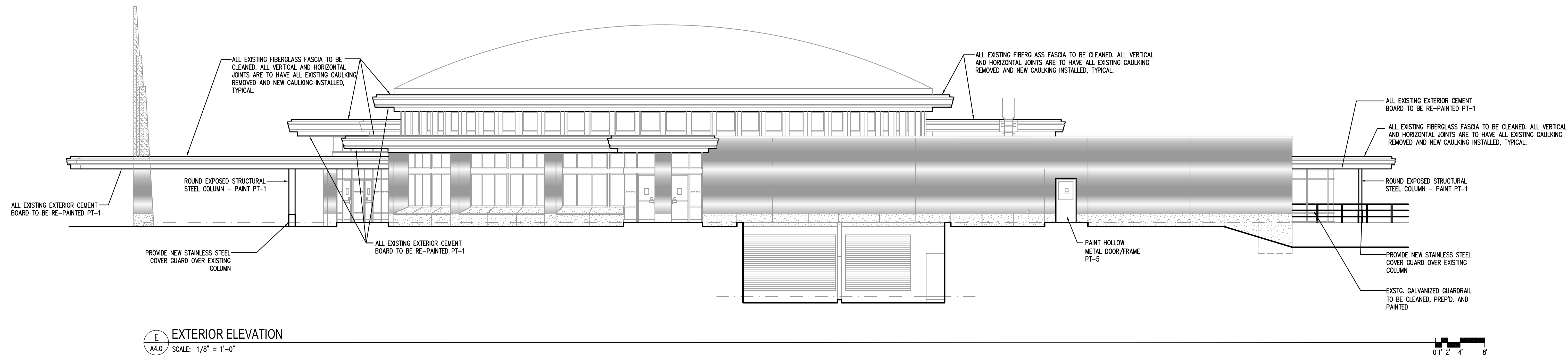
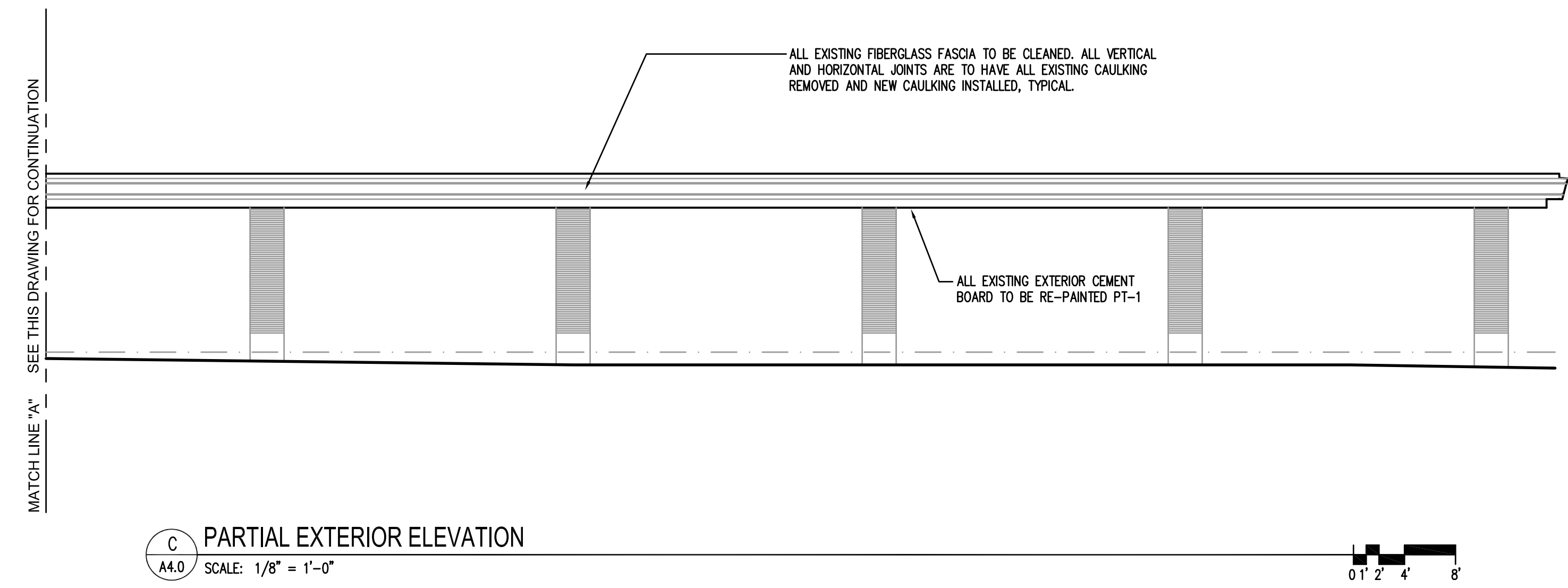
ALL SPRINKLER HEADS SHALL BE CENTERED WITH THE 2x2 TILES.

ALL EXISTING SPRINKLER HEAD COVER PLATES ARE TO BE REPLACED WITH NEW IN  
ALL PUBLIC SPACES WHERE CEILING IS BEING REPAIRED AND/OR REPAINTED. ALL  
PRIVATE OWNER AREA HEAD TYPES SHALL REMAIN.

THE CONTRACTOR SHALL OBTAIN CURRENT FLOW TEST DATA.

CEILING PLAN GRAPHIC LEGEND	
	EXISTG. 2'x4' FLUORESCENT FIXTURE
	EXISTG. 2'x2' FLUORESCENT FIXTURE
	EXISTG. 1'x4' FLUORESCENT FIXTURE
	EXISTG. DOWNLIGHT
	EXISTG. SMOKE DETECTOR
	EXISTG. SPEAKER
	EXISTG. ANNUNCIATOR
	EXISTG. SPRINKLER FIXTURE
	EXISTG. SUPPLY AIR DIFFUSER
	EXISTG. RETURN AIR DIFFUSER
	EXISTG. GYPSUM BOARD CEILING
	EXISTG. ACOUSTICAL TILE CEILING
	EXISTG. PENDANT LAMP
	EXISTG. EXIT SIGN
	LAY-IN SUSPENSION CEILING SYSTEM, ACT-1 INSTALLED IN 2x2 PATTERN
	LAY-IN SUSPENSION CEILING SYSTEM, ACT-2 INSTALLED IN 2x4 PATTERN
	GYP, BD, CEILING, SOFT OR BULKHEAD





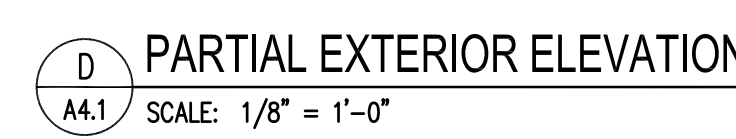
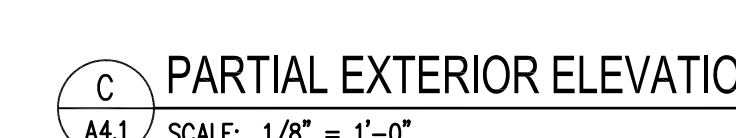
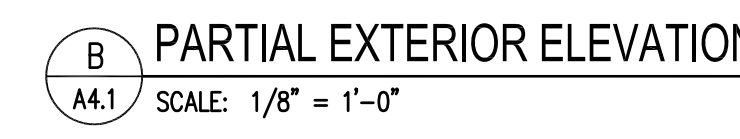
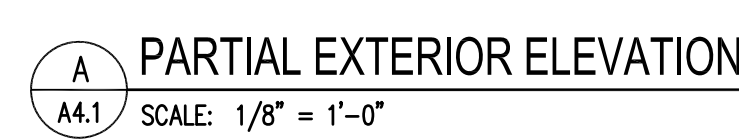
CLEANING OF FRP PANELS:

THE CLEANING OF THE FRP PANELS SHALL CONSIST OF CLEANING THE PANELS WITH A WATER AND HOUSEHOLD LIQUID DETERGENT SOAP. CLEANING SHALL CONTINUE TO AN AGREED UPON TEST LEVEL WITH THE OTC.

NORE DIFFICULT STAIN AND/OR SCRATCHES SHALL BE REMOVED BY WET-SANDING THE MARK OUT AND RENEWING THE GEL-COAT TO A MATCHING FINISH WITH WET SAND- PAPER AND THEN POLISHING WITH POLISH COMPOUND TO A MATCHING GLOSS

FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR ALL APPLICATIONS





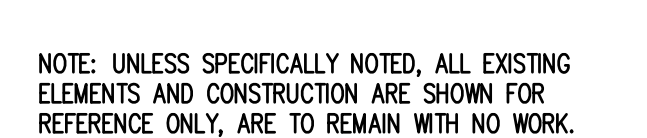
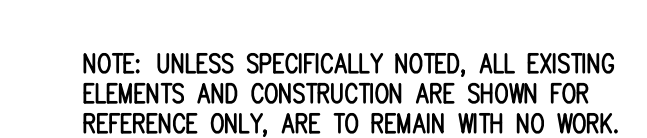
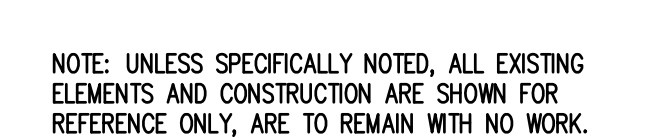
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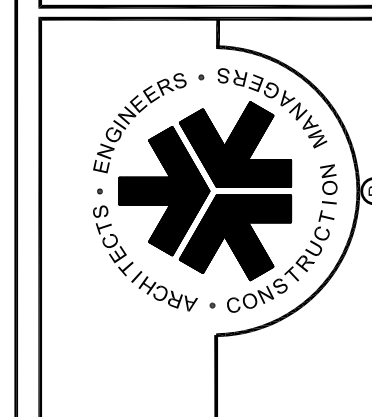
MORE DIFFICULT STAINS AND/OR SCRATCHES SHALL BE REMOVED BY WET-SANDING THE MARKING OUT AND REFINING THE GEL-COAT TO A MATCHING FINISH WITH WET SAND- PAPER AND THEN POLISHING WITH POLISH COMPOUND TO A MATCHING GLOSS

FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR ALL APPLICATIONS





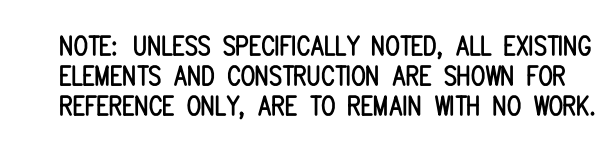
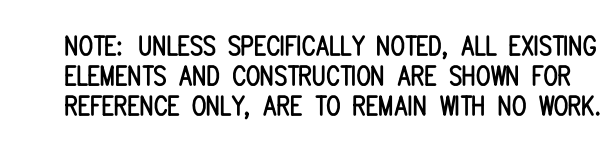
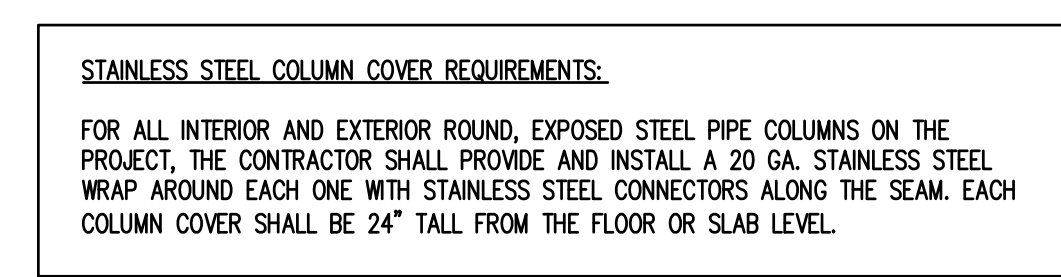




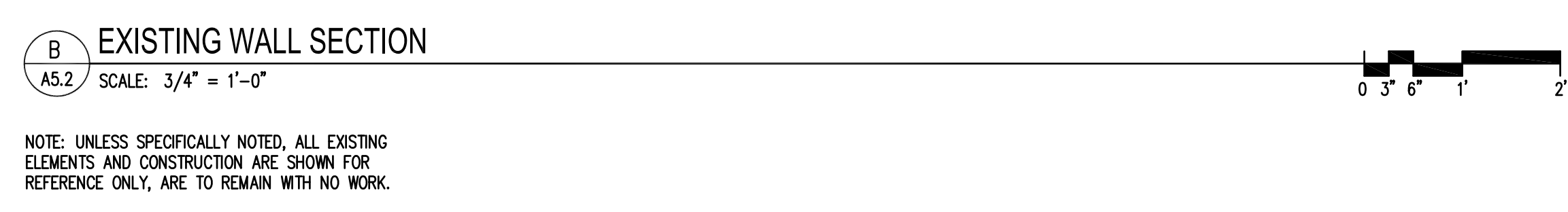
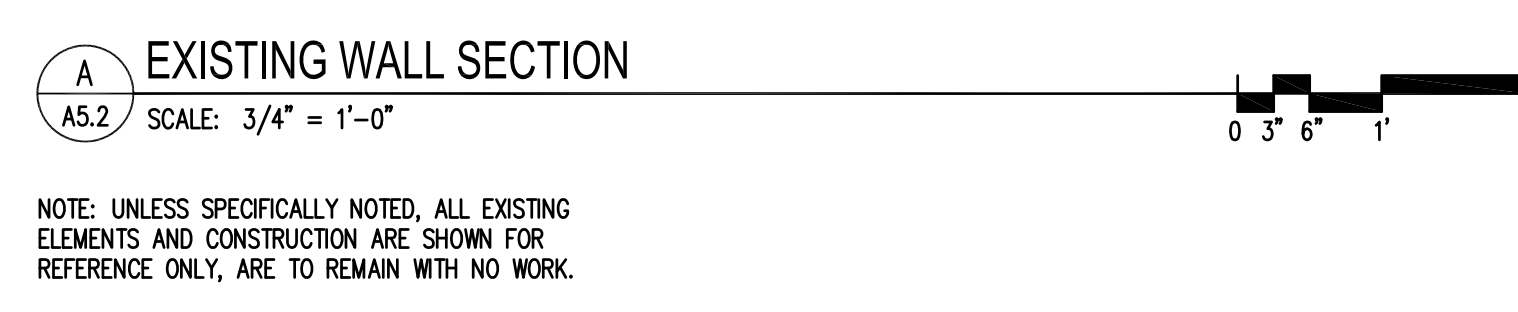
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# OHIO TURNPIKE COMMISSION SERVICE PLAZA RENOVATIONS Erie Islands and Commodore Perry Milepost 100 - Sandusky County, Ohio

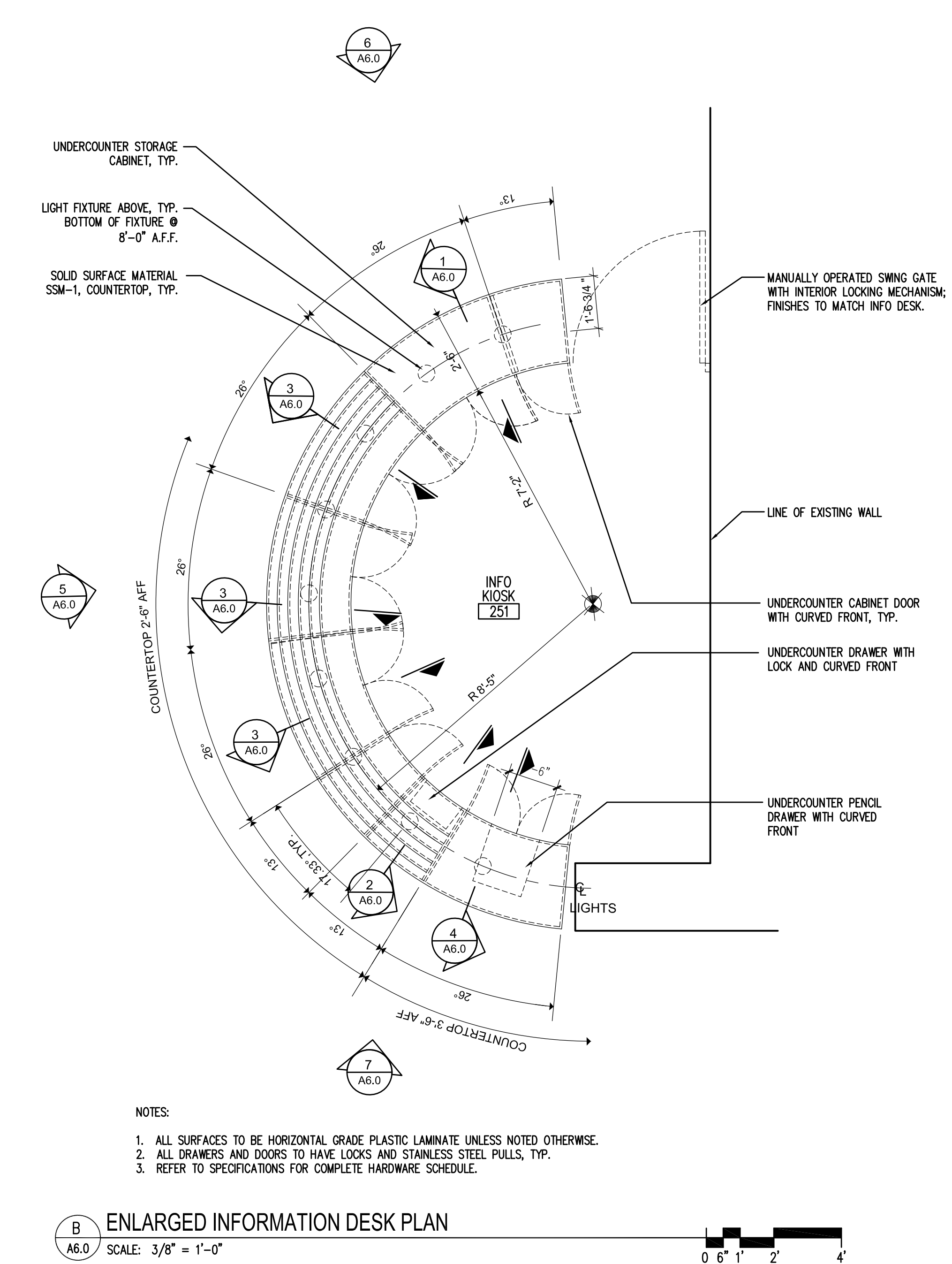
Page 10 of 10



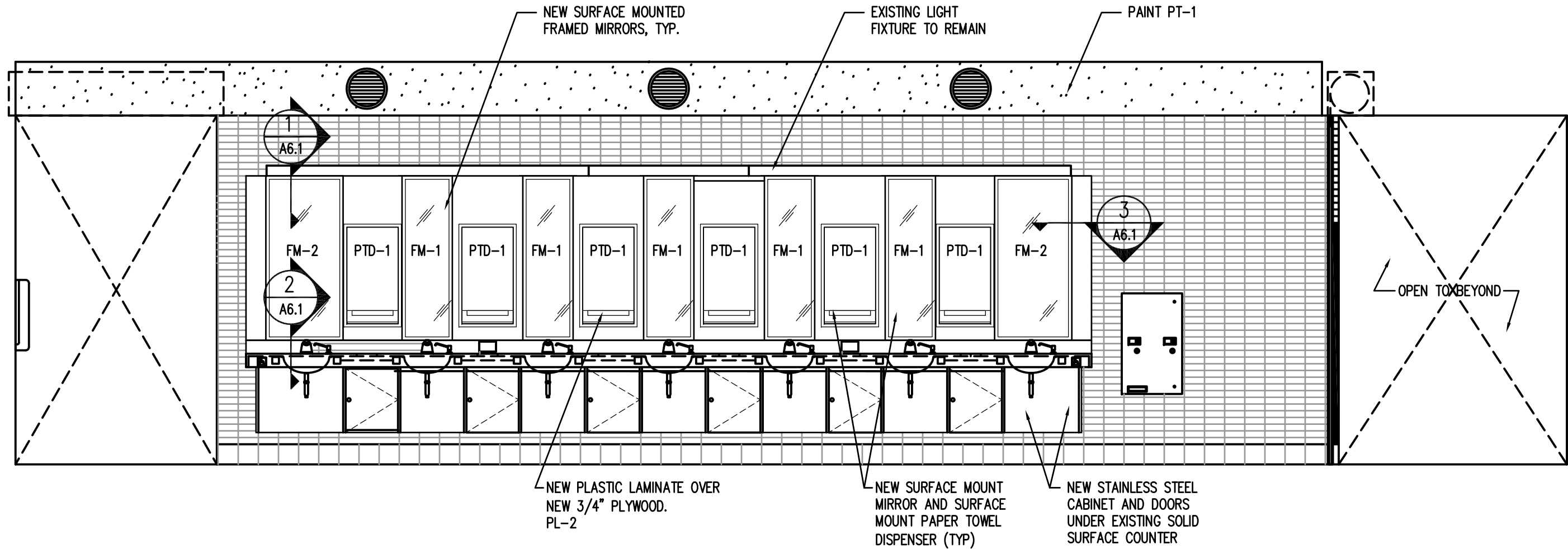




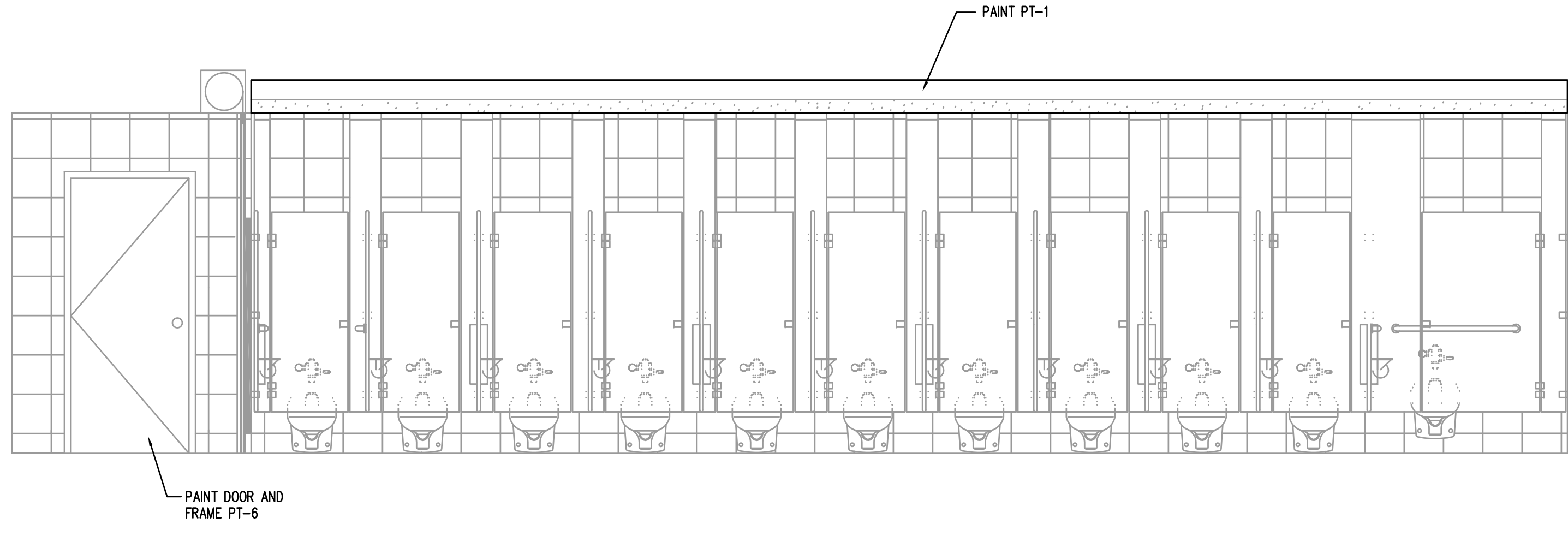




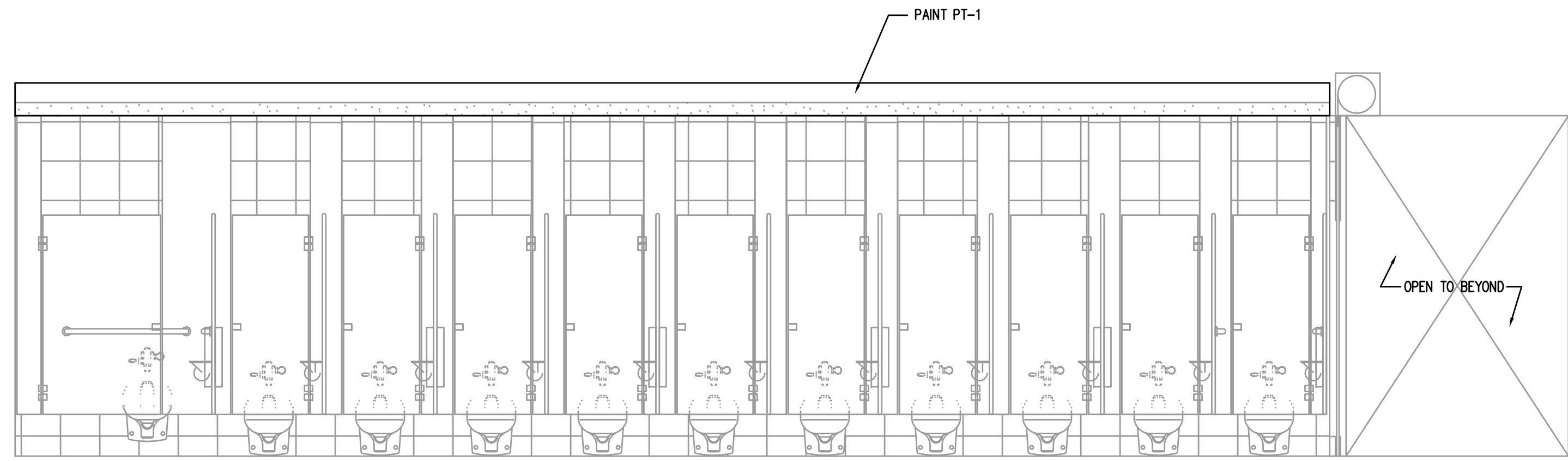




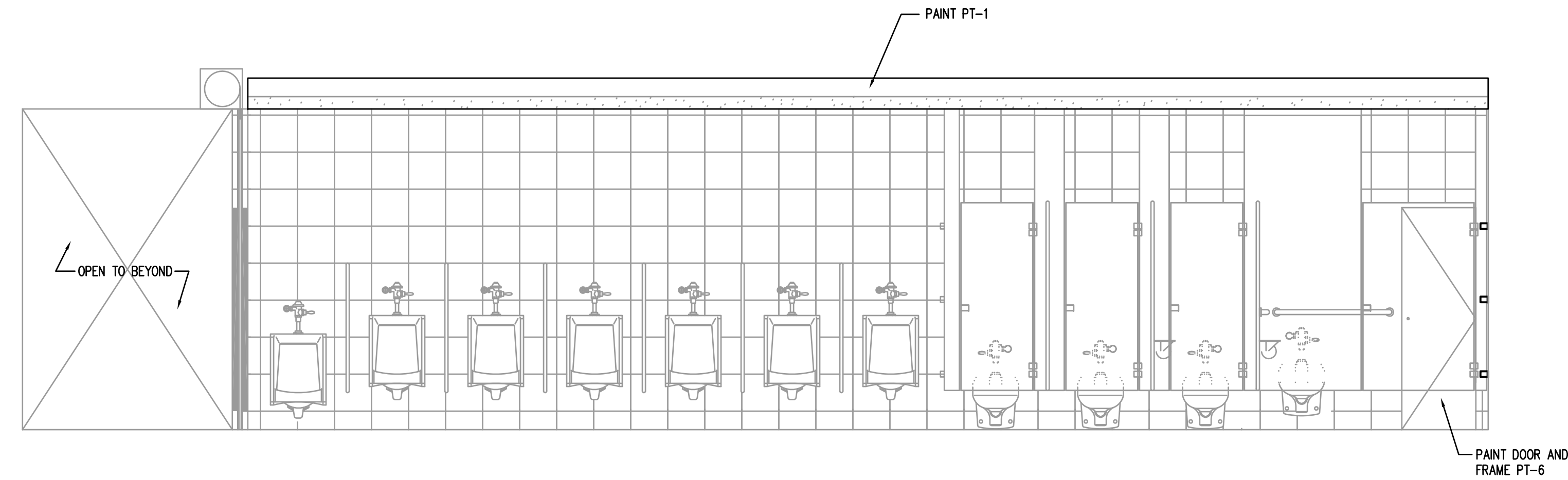
TYPICAL  
INTERIOR ELEVATION - FINISHED MIRROR CONFIGURATION  
A6.1 SCALE: 3/8\"/>



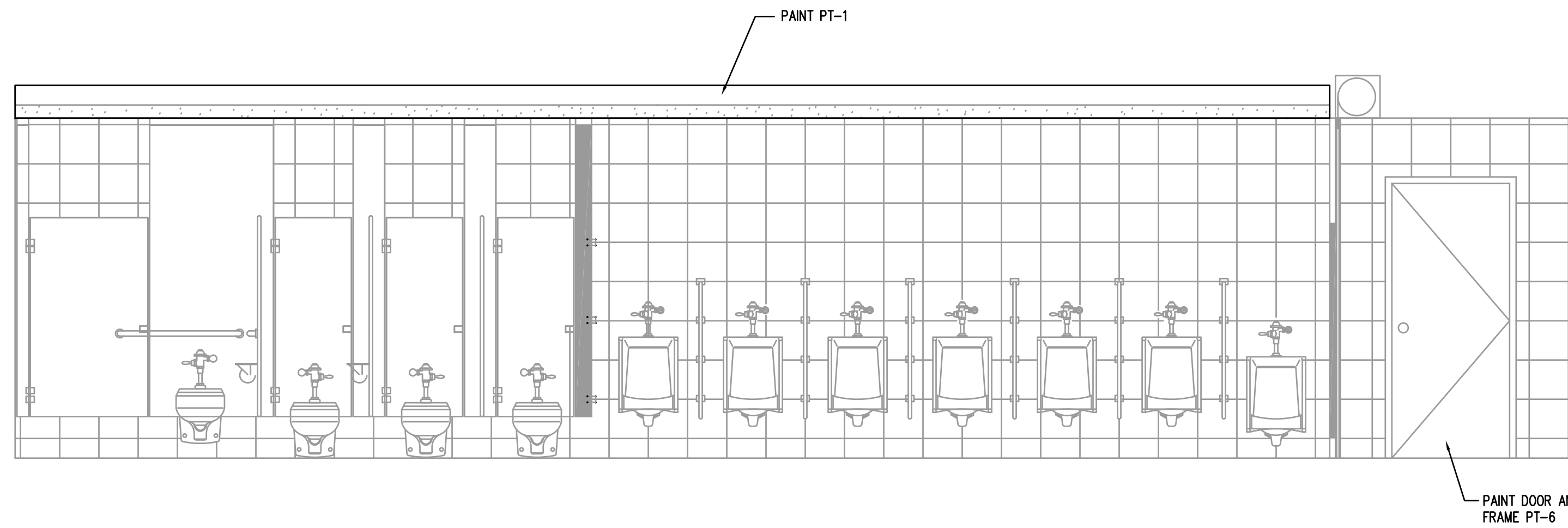
INTERIOR ELEVATION  
A6.1 SCALE: 3/8\"/>



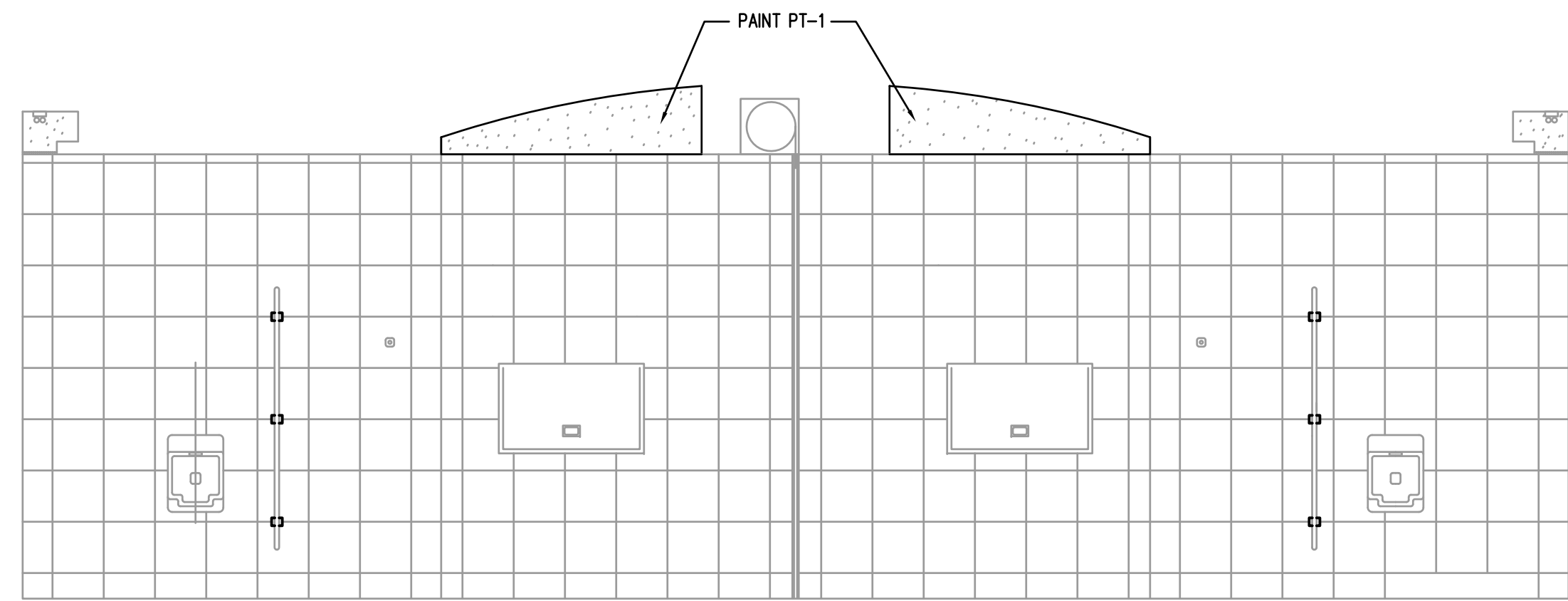
INTERIOR ELEVATION  
A6.1 SCALE: 3/8\"/>



INTERIOR ELEVATION  
A6.1 SCALE: 3/8\"/>

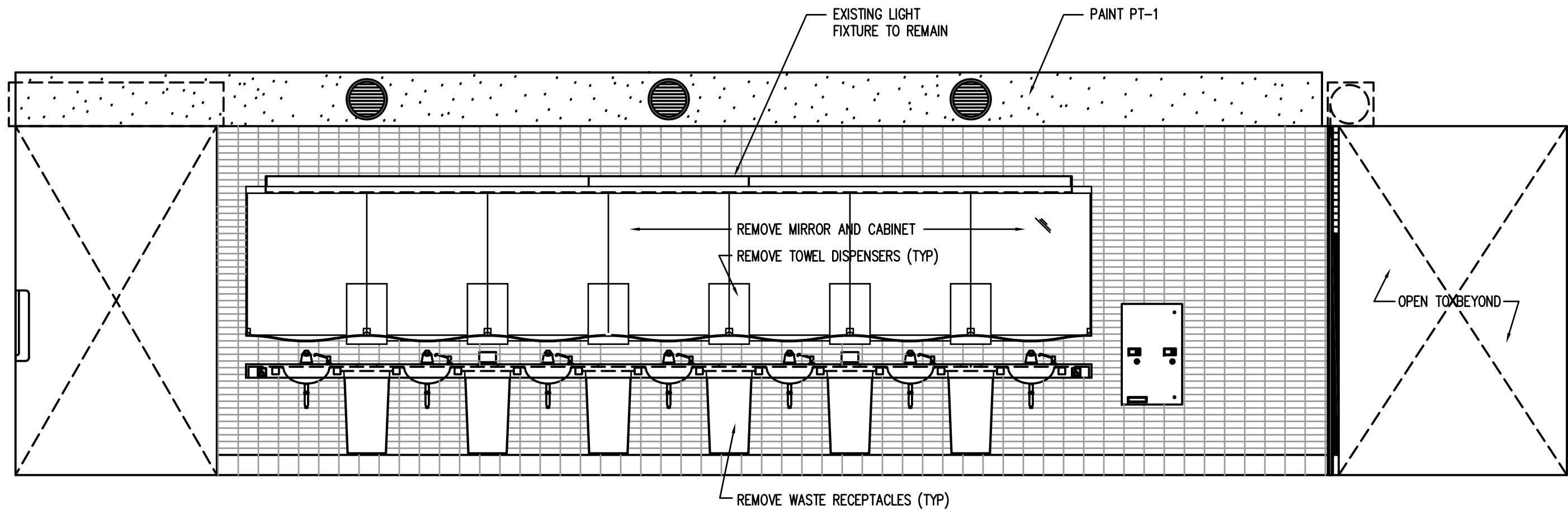


INTERIOR ELEVATION  
A6.1 SCALE: 3/8\"/>



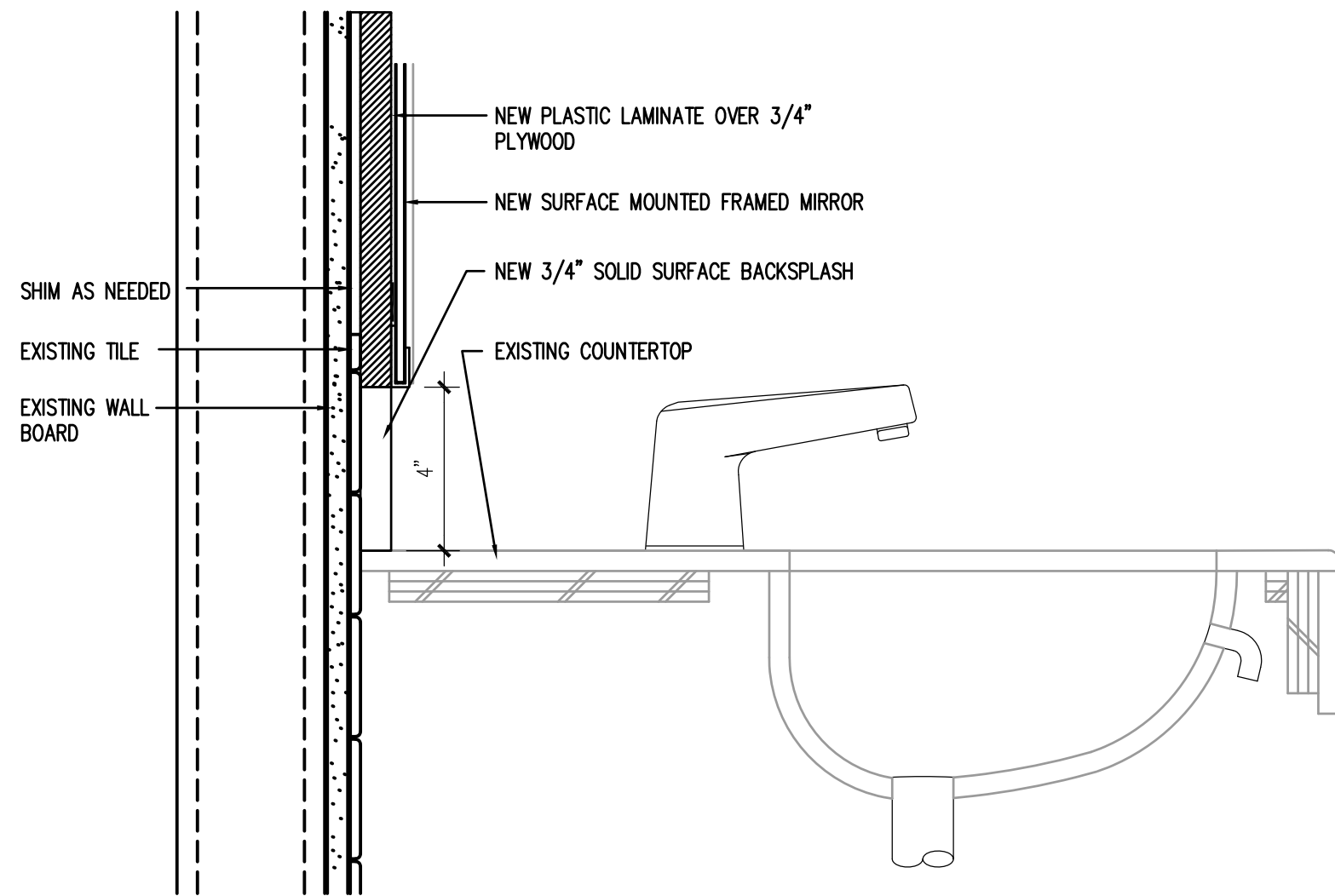
NOTE:  
ALL CAULK JOINTS AT ALL PLUMBING  
FIXTURES TO BE REMOVED AND  
RECAULKED, TYPICAL.

INTERIOR ELEVATION  
A6.1 SCALE: 3/8\"/>

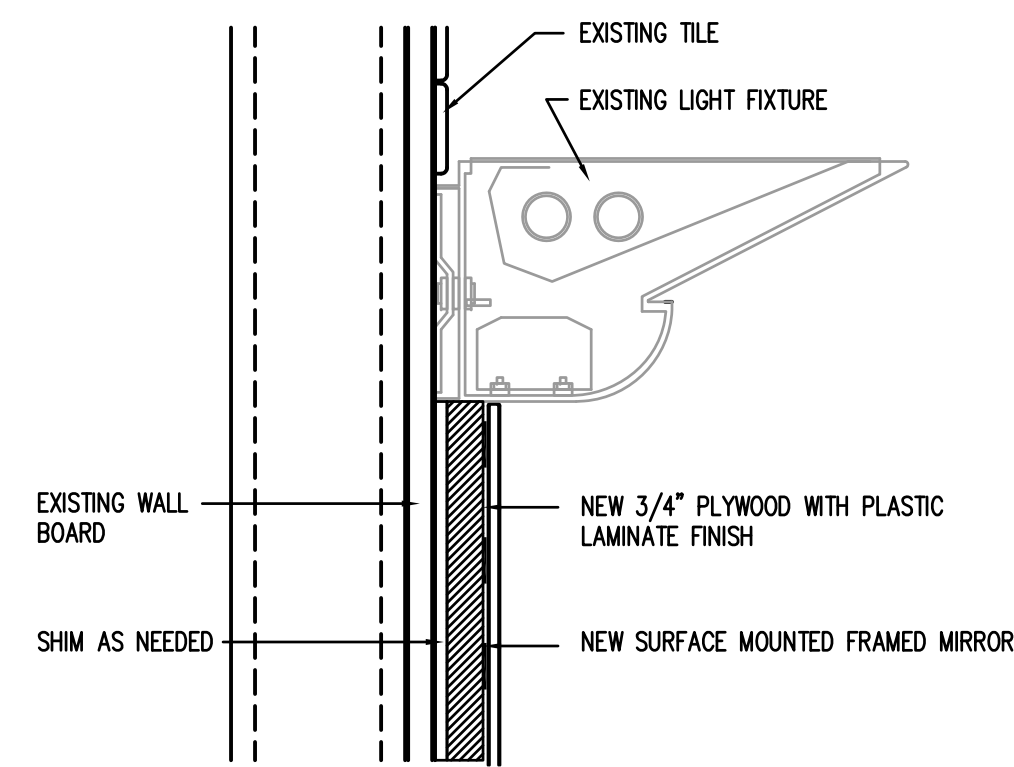


TYPICAL  
INTERIOR ELEVATION - DEMOLITION  
A6.1 SCALE: 3/8\"/>

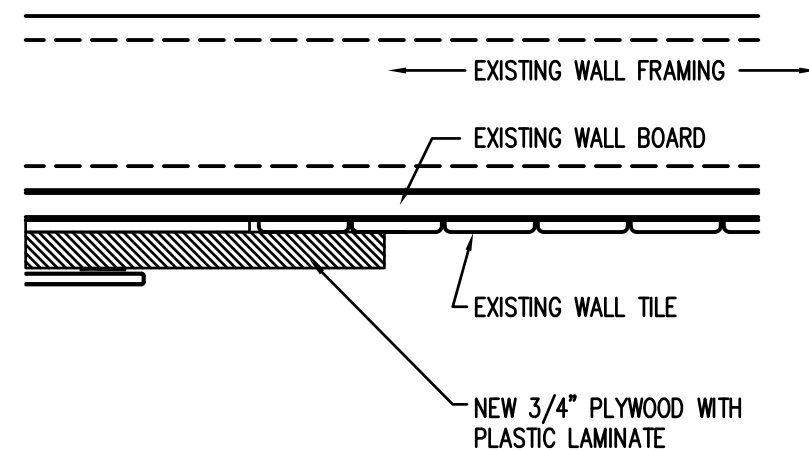
DEMOLITION NOTE: REMOVE ALL ELEMENTS AS NOTED TO RENOVATE AS SHOWN. TAKE CARE TO NOT DAMAGE ELEMENTS THAT ARE TO REMAIN. CONTRACTOR SHALL REPAIR ALL DAMAGED ELEMENTS - AT NO ADDITIONAL COST TO OWNER.



1  
A6.1 SCALE: 3\"/>

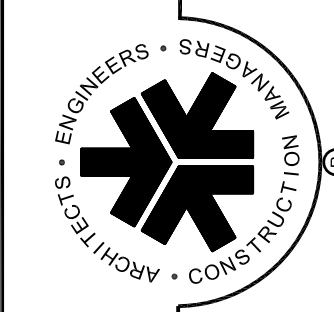
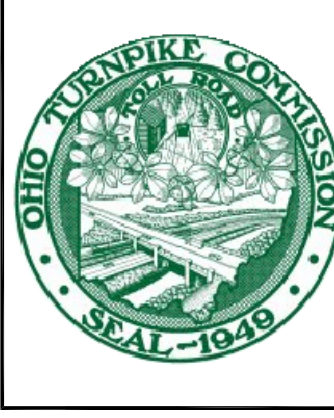


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3  
A6.1 SCALE: 3\"/>

No.	Date/Description
7/8/12	BD & PD/MT
9/10/12	RE-BD



**RICHARD L. BOWEN  
+ ASSOCIATES INC.**  
13300 Shaker Boulevard Cleveland, Ohio 44124  
Phone: (216) 491-5800 Fax: (216) 491-5853  
www.rlbassoc.com rlb@rlbassoc.com

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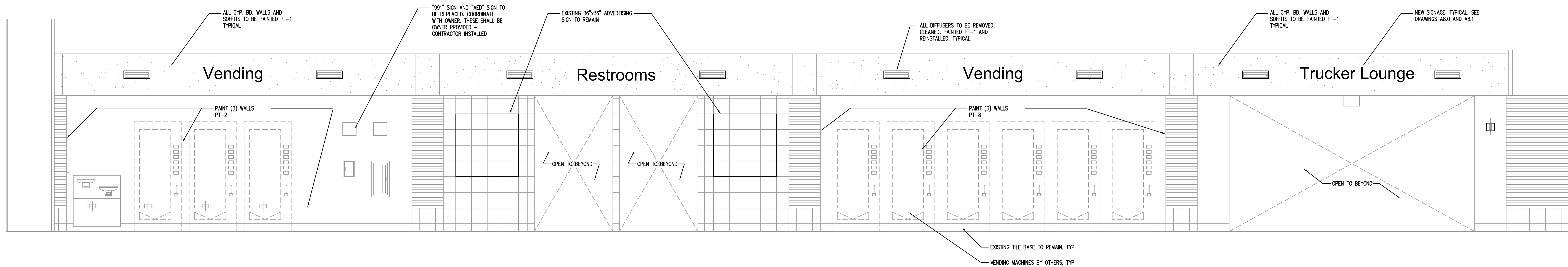
OHIO TURNPIKE COMMISSION  
**SERVICE PLAZA RENOVATIONS**  
Erie Islands and Commodore Perry  
Milepost 100 - Sandusky County, Ohio  
**TOILET ROOM ELEVATIONS**

DRAWN BY:	CB
CHECKED BY:	KJE
RLB NO.:	6744.09
OTC NO.:	53-12-02
SERVICE PLAZA	SP-4
DRAWING NO.	<b>A6.1</b>
SHT.:	13 OF 27

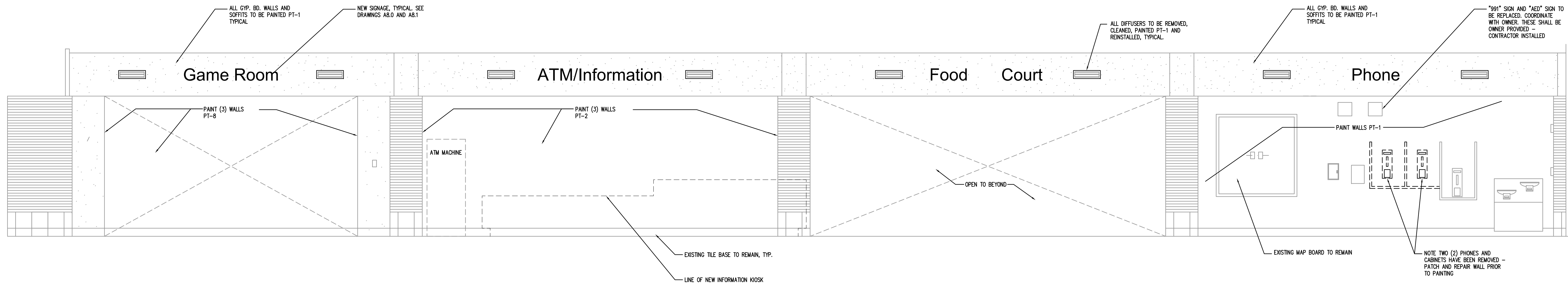




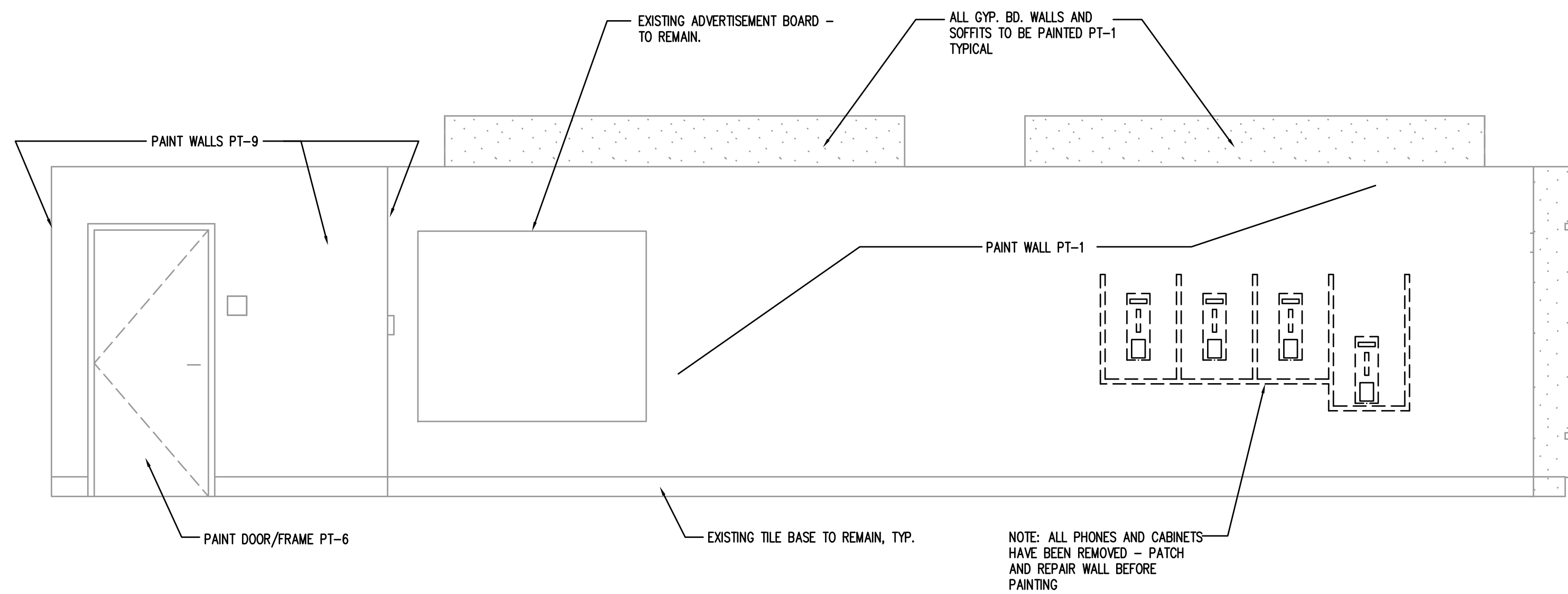




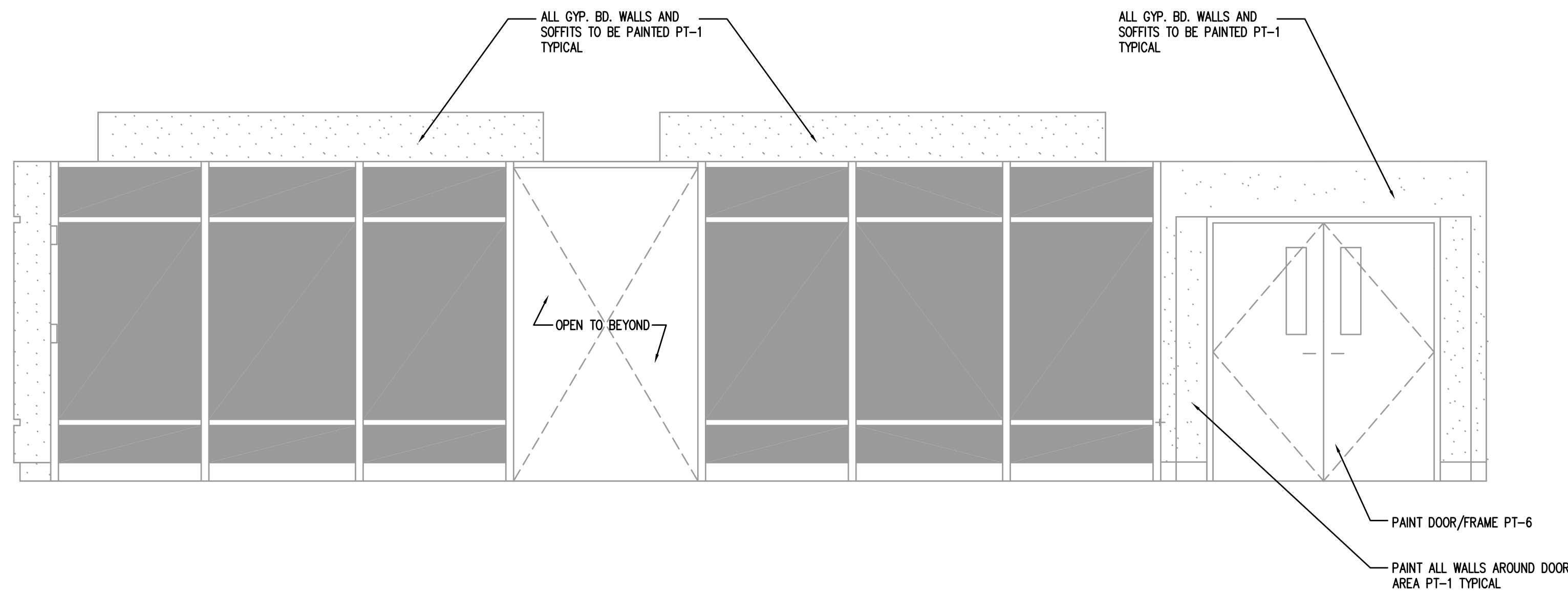
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A7.1 INTERIOR ELEVATION  
SCALE: 3/8" = 1'-0"



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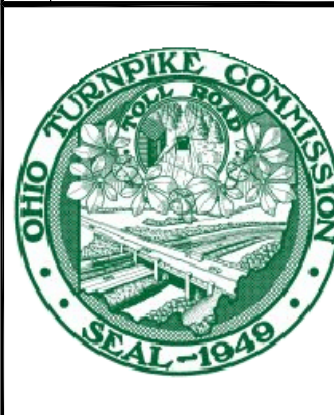
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D  
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SCALE: 3/8" = 1'-0"

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No.	Date/Description
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9/10/12	RE-BD



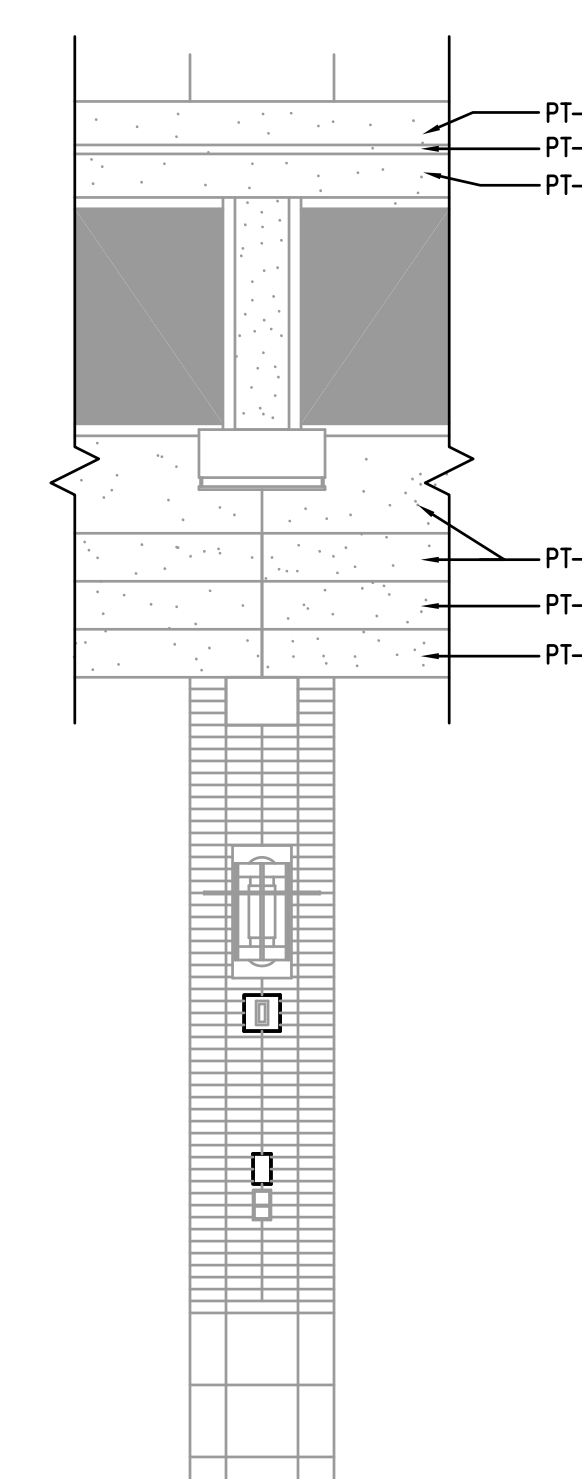
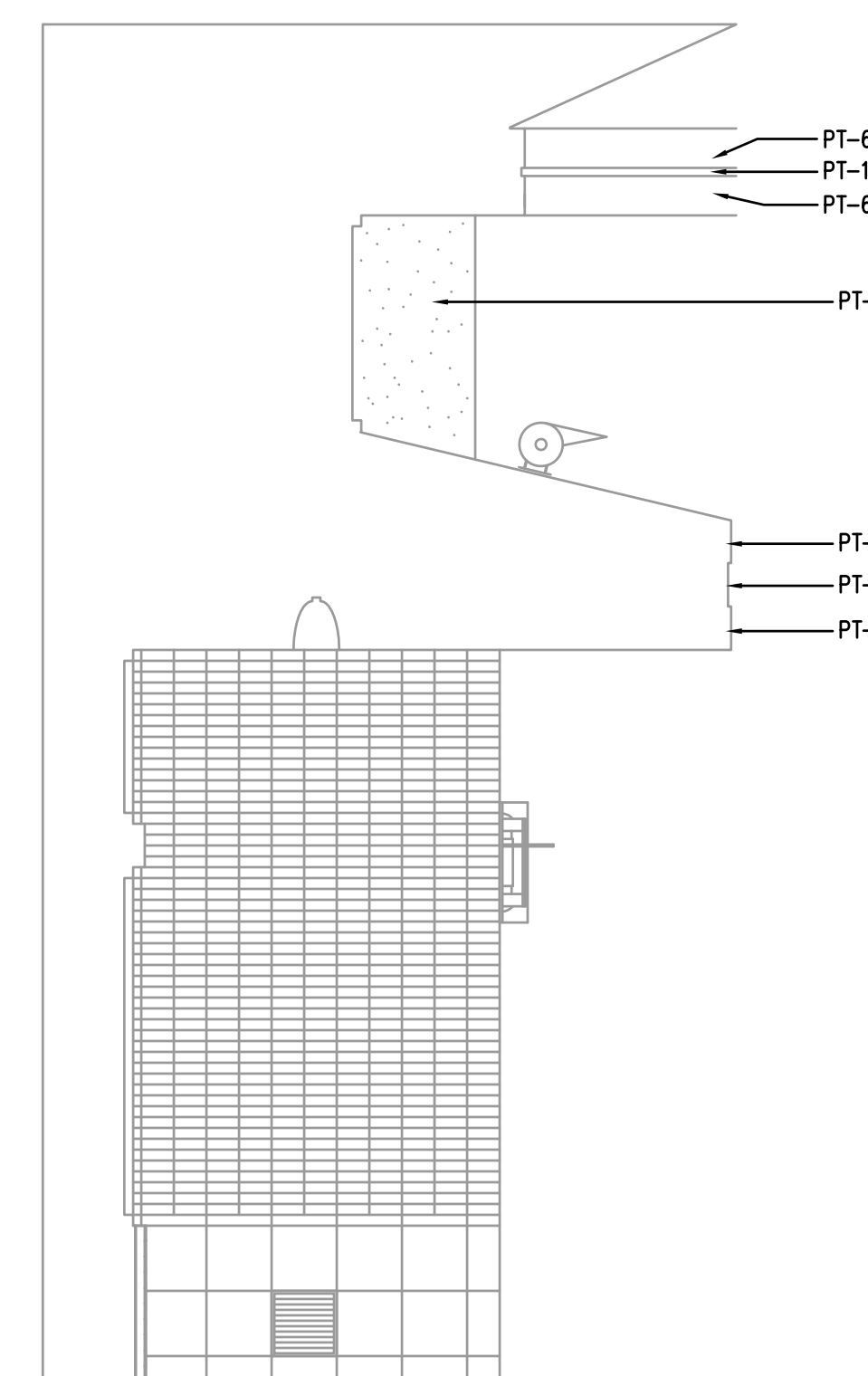
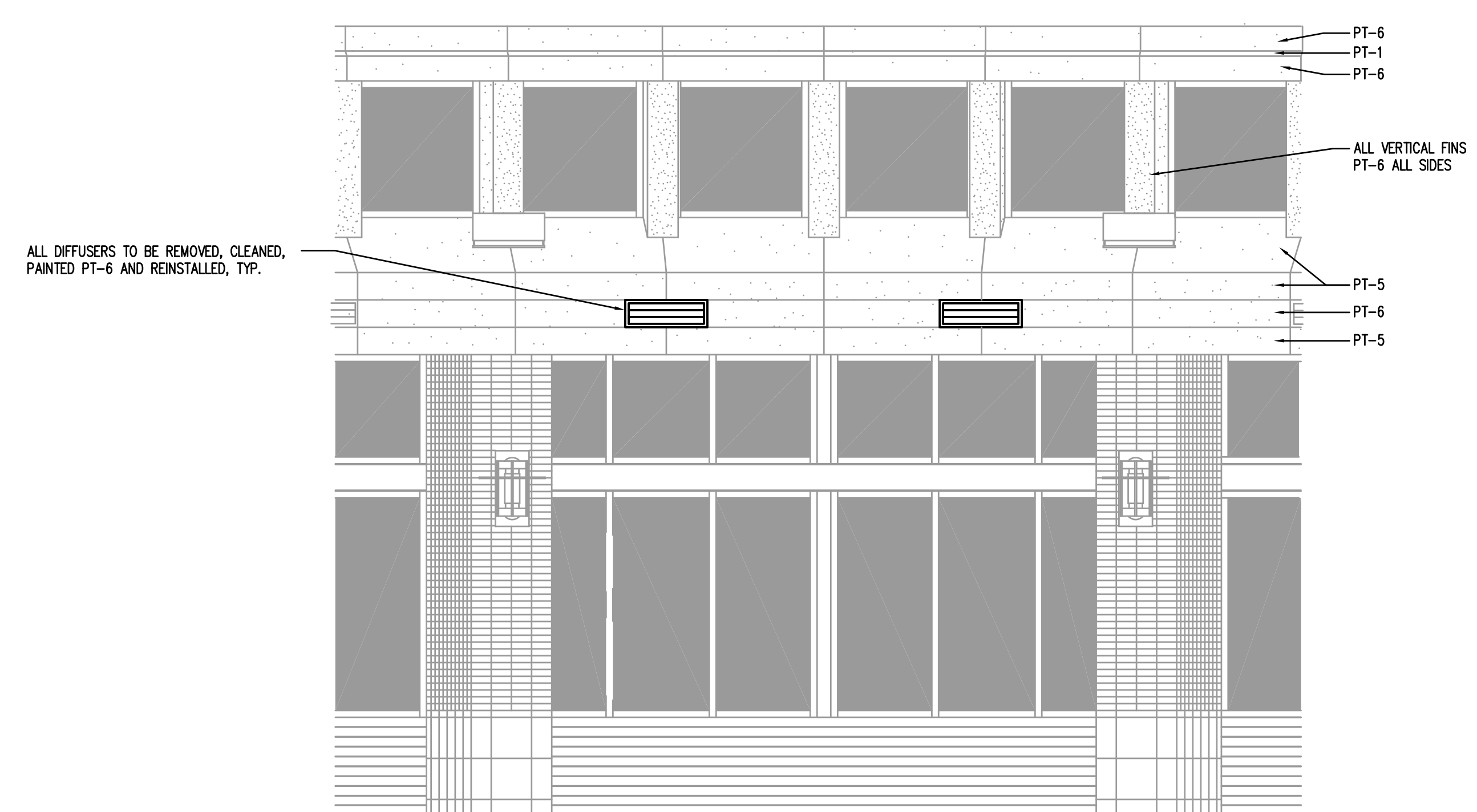
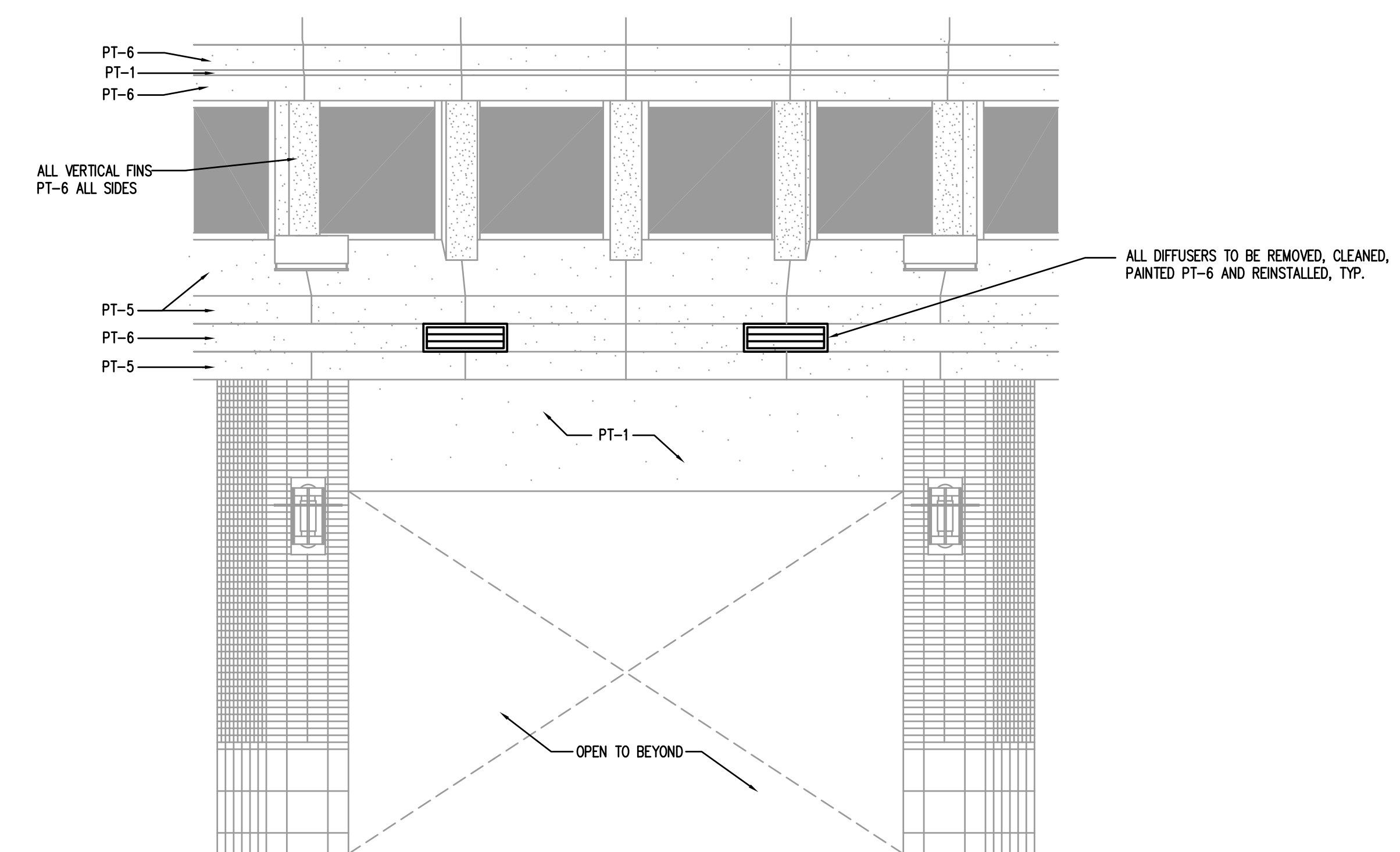
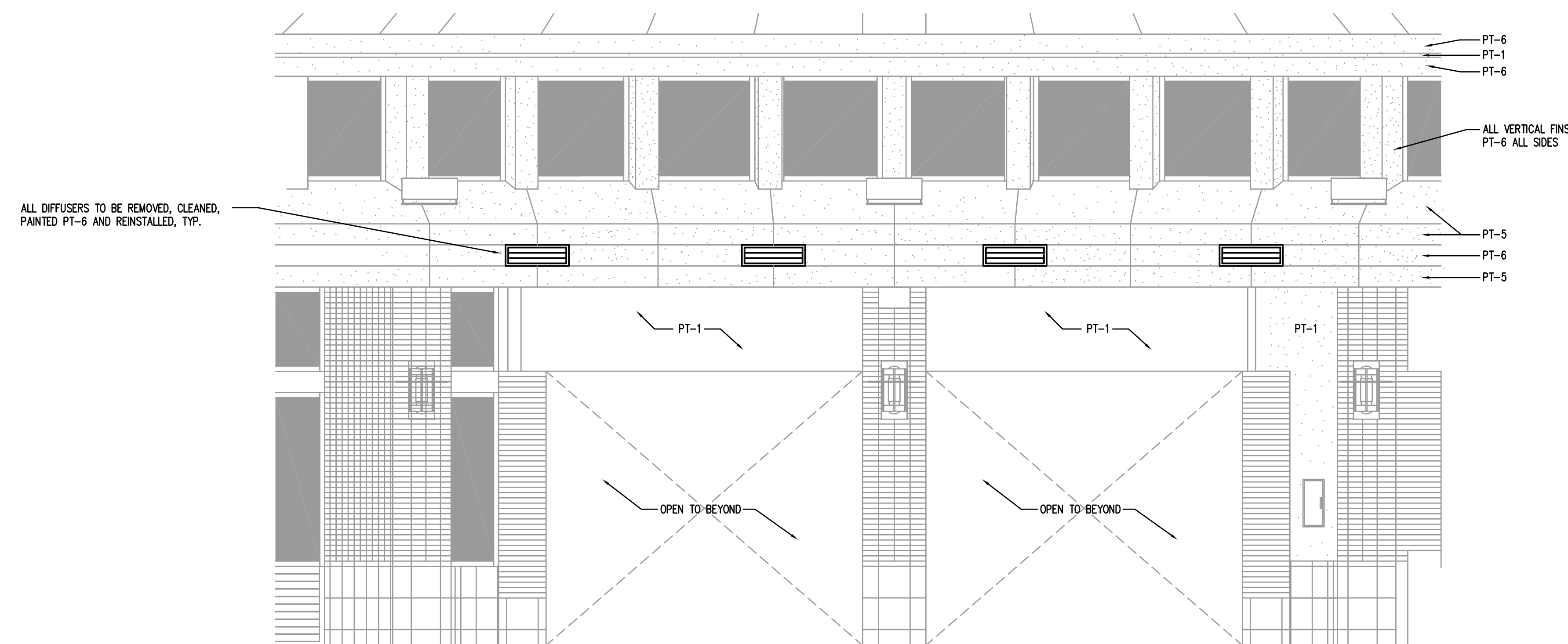
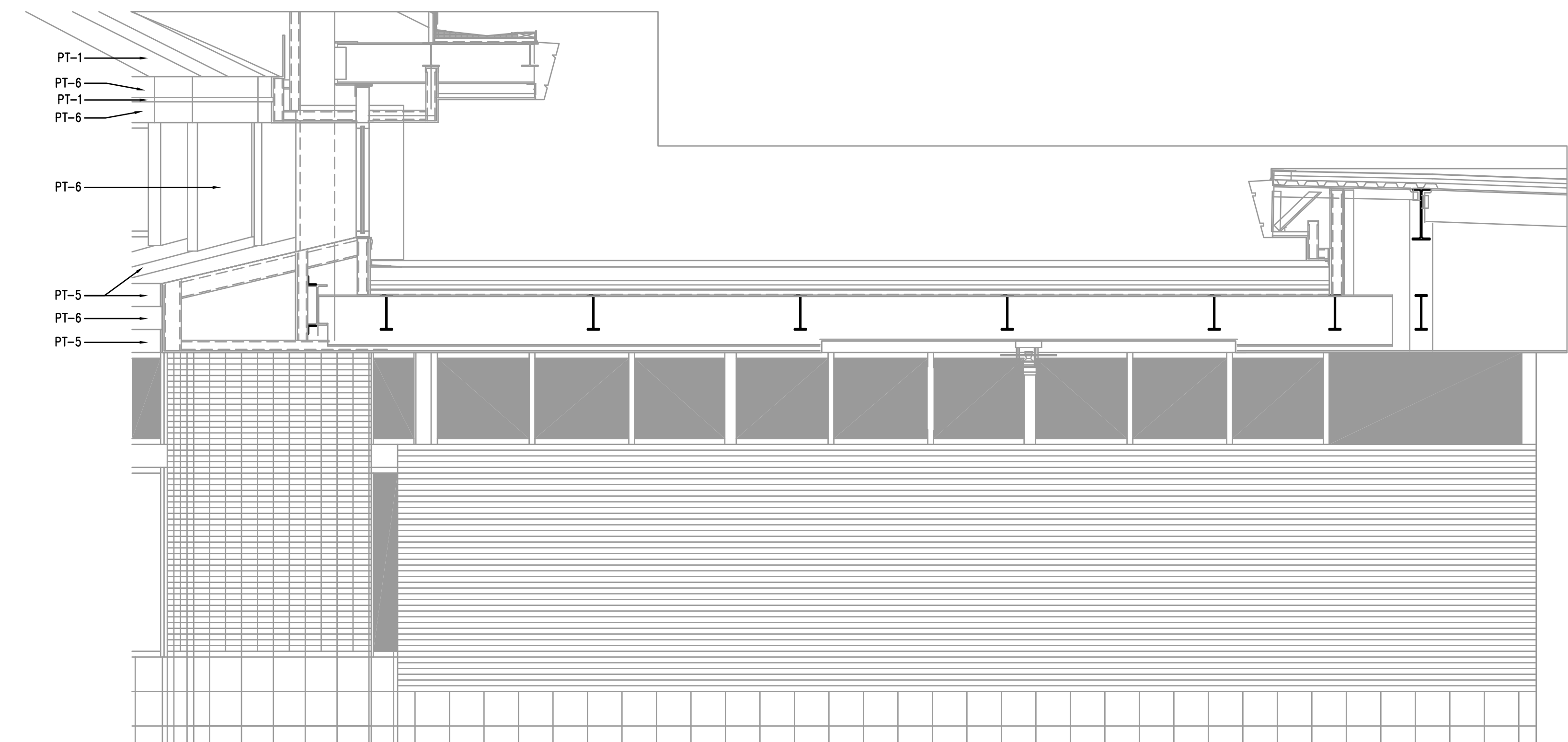
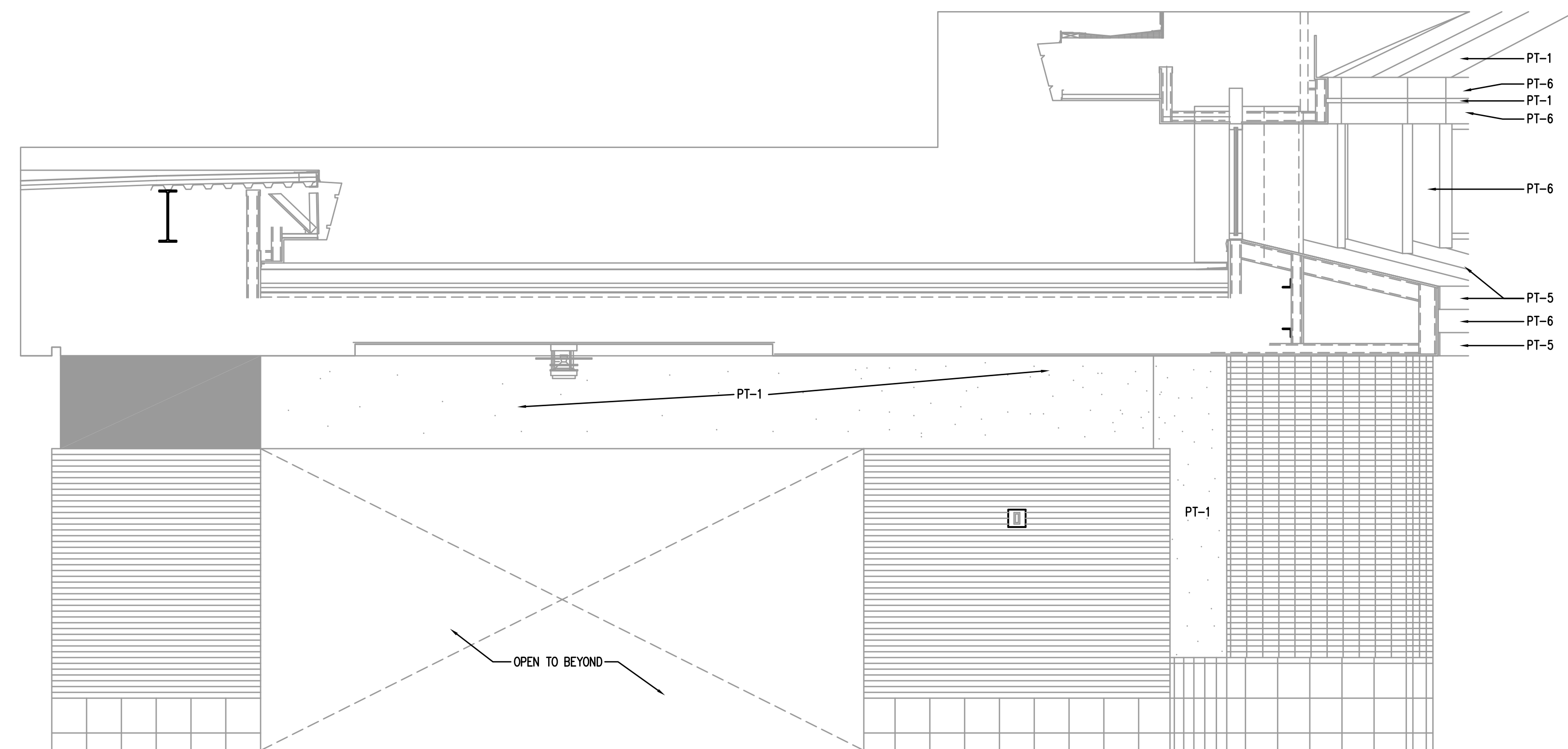
**RICHARD L. BOWEN  
+ ASSOCIATES INC.**  
13300 Shaker Boulevard Cleveland, Ohio 44124  
Phone: (216) 491-5800 Fax: (216) 491-5853  
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**INTERIOR ELEVATIONS AND DETAILS**

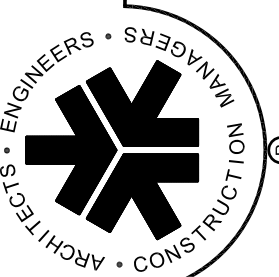
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CHECKED BY:	KJE
RLB NO.:	6744.09
OTC NO.:	53-12-02
SERVICE PLAZA	SP-4
DRAWING NO.	<b>A7.1</b>
SHT.	15 OF 27





NOTE:  
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DATES AND REVISIONS	
Date/Description	
7/6/12	BID & PERMIT
9/10/12	RE-BID



**RICHARD L. BOWEN  
+ ASSOCIATES INC.**  
33000 Shaker Boulevard / Cleveland, Ohio 44120  
Phone: (216) 491-9300 Fax: (216) 491-8053  
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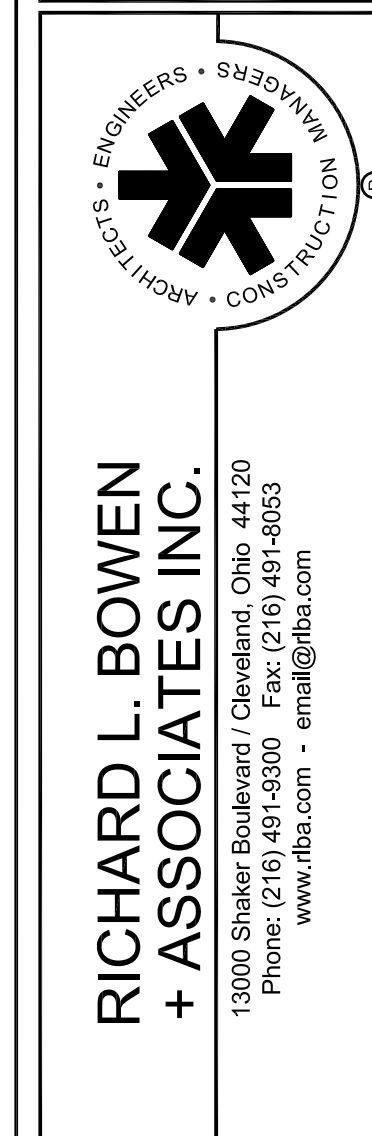
**SERVICE PLAZA RENOVATIONS**  
Erie Islands and Commodore Perry  
Milepost 100 - Sandusky County, Ohio

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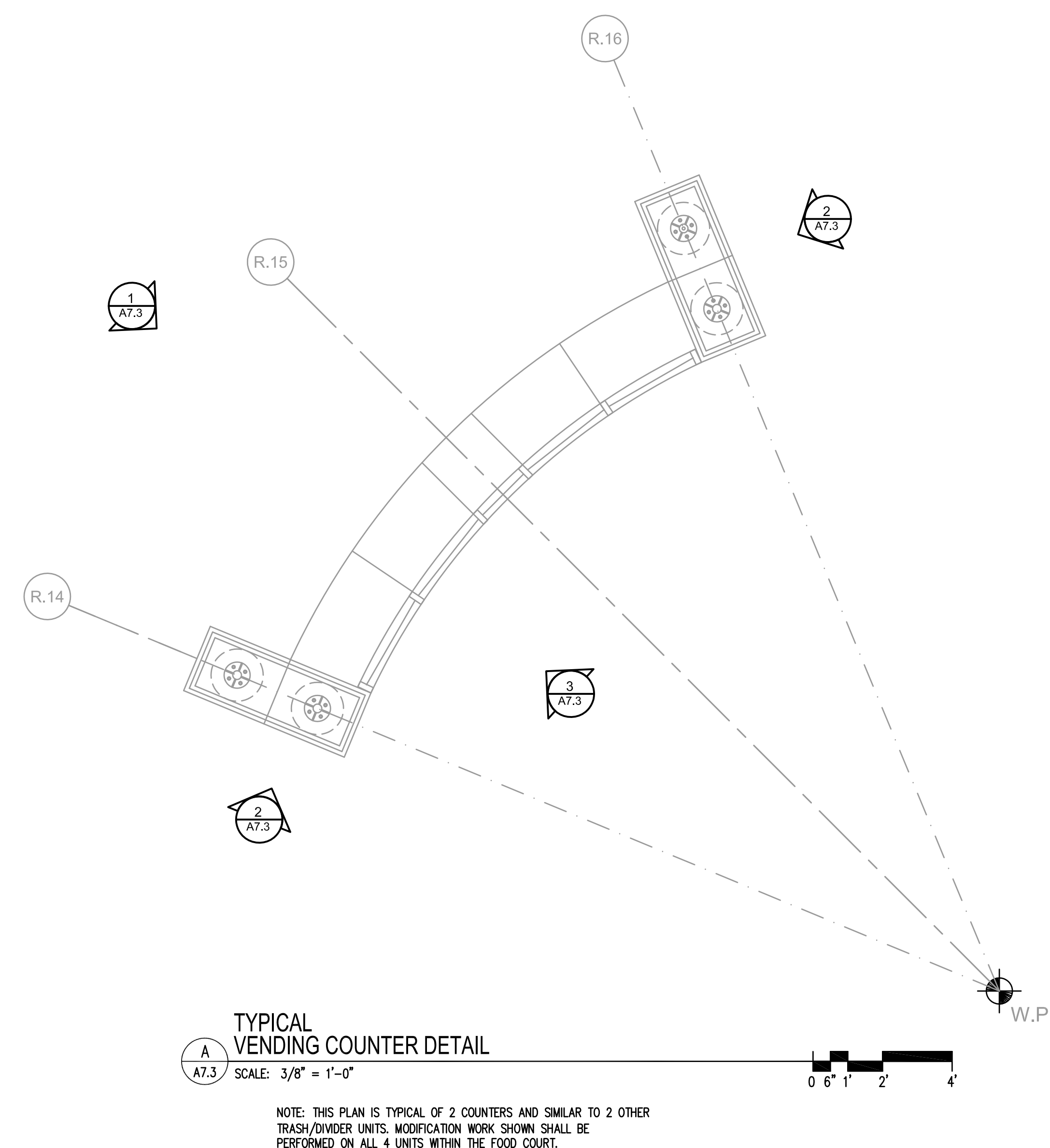
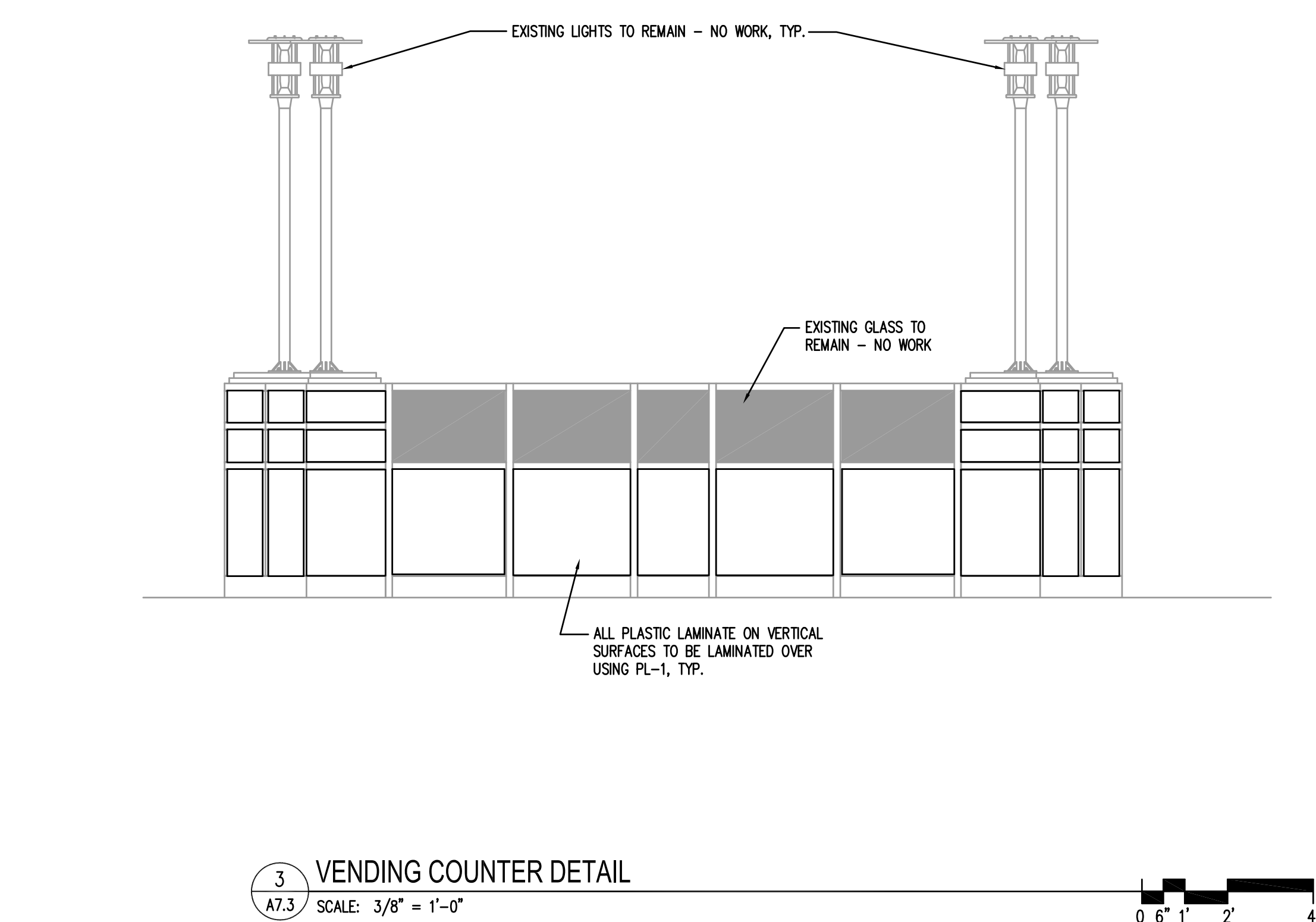
**INTERIOR ELEVATIONS AND DETAILS**

DRAWN BY: CB  
 CHECKED BY: KJ  
 PROJECT NO.: 6744.09  
 DATE: 53-12-02  
 SERVICE  
 SA SP-4  
 DRAWING NO.  
**A7.2**  
 T. 16 OF 27

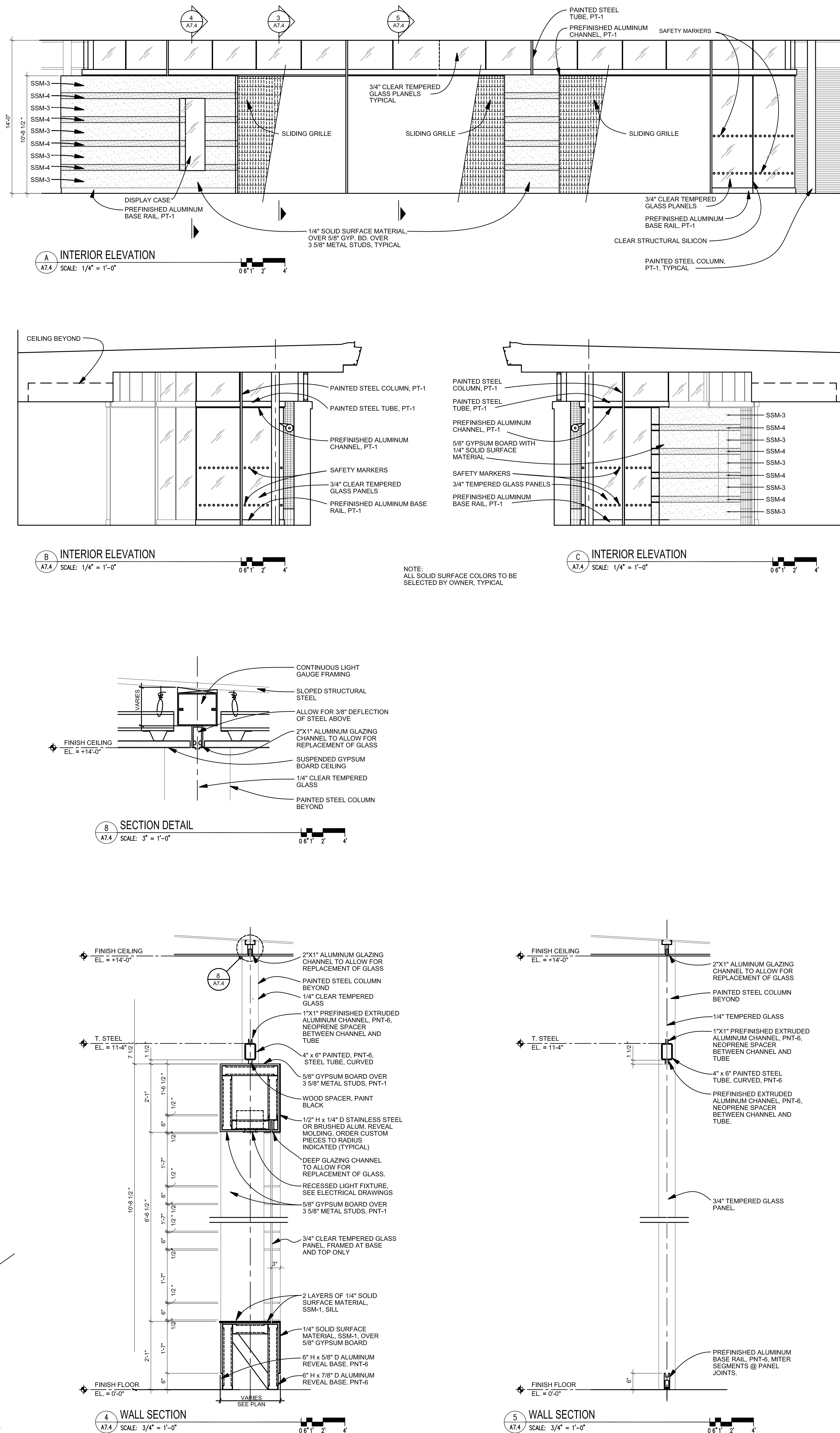




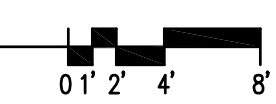

DRAWN BY:	CB
CHECKED BY:	KJE
RLB NO.:	6744.09
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SERVICE PLAZA	SP-4
DRAWING NO.	
<b>A7.3</b>	
SHT. 17	OF 27



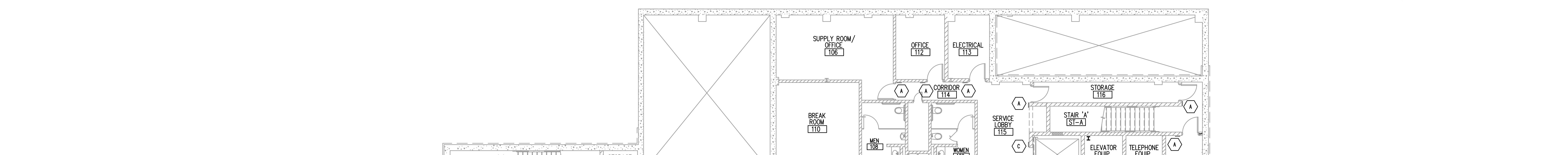
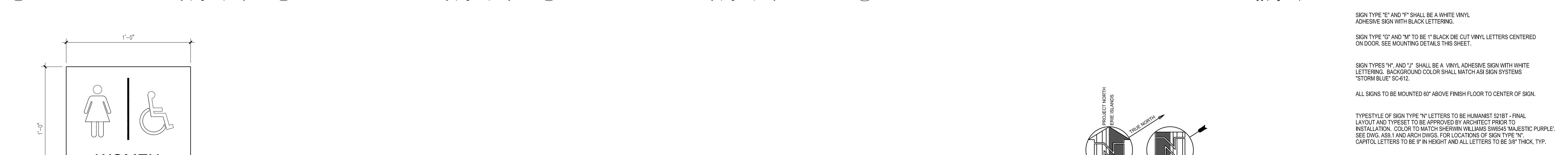


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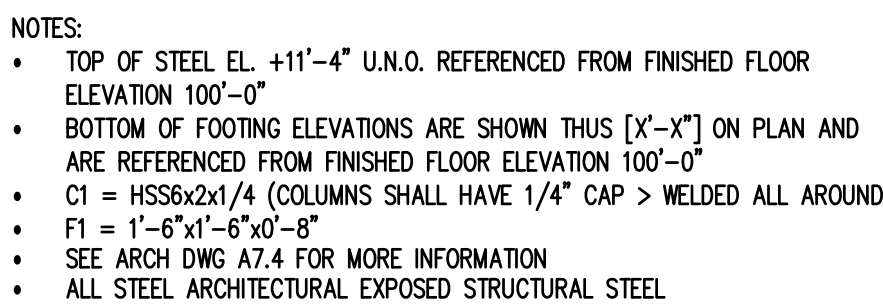








7 SECTION  
S1.1 SCALE: 1 1/2" = 1'-0"





GENERAL DEMOLITION REQUIREMENTS:

1. EACH CONTRACTOR IS TO VISIT THE SITE AND BECOME COMPLETELY FAMILIAR WITH THE EXISTING CONDITIONS AND ELEMENTS FOR DEMOLITION DURING BIDDING PERIOD.
2. GENERAL CONTRACTOR PRIOR TO STARTING OF WORK, SHALL VERIFY EXISTING CONDITIONS, DIMENSIONS AND SIZES, ETC. OR ITEMS NOT INDICATED ON DRAWINGS, THAT MAY REQUIRE DEMOLITION BUT NOT DESCRIBED OR SHOWN.
3. GENERAL CONTRACTOR SHALL MAKE PROVISIONS FOR TEMPORARY PROTECTION AND/OR BARRIERS NECESSARY TO PERFORM THE WORK.
4. EACH CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND BE FAMILIAR WITH THE RULES AND REGULATIONS OF THE FEDERAL, STATE, COUNTY AND CITY, REPORT ALL DISCREPANCIES TO THE ARCHITECT.
5. SHUTDOWNS OF BUILDING SYSTEMS ARE NOT ACCEPTABLE. GENERAL CONTRACTOR MUST PROVIDE TEMPORARY UTILITIES TO THE PORTIONS BEING OCCUPIED. IF TEMPORARY SHUTDOWN IS REQUIRED, THE GENERAL CONTRACTOR MUST COORDINATE WITH THE ARCHITECT AND RECEIVE APPROVAL FROM THE OWNER PRIOR TO EACH DISRUPTION EVENT.
6. THE OWNER RESERVES THE RIGHT TO SALVAGE MATERIALS OR PORTIONS THEREOF FROM DEMOLISHED MATERIAL BEFORE IT IS PROPERLY DISPOSED.
7. CONTRACTOR SHALL PROVIDE TRASH CHUTES AND DUMPSTERS SERVING ALL AREAS OF DEMOLITION AND FOR THE DISPOSING OF ALL DEMOLISHED MATERIALS. TRASH CHUTES SHALL BE ADEQUATE FOR REMOVAL OF ALL DEMOLITION MATERIALS ASSOCIATED WITH THE PROJECT DEMOLITION MATERIALS INCLUDE, BUT ARE NOT LIMITED TO, MASONRY, CONCRETE, ELECTRICWORK, STEEL AND WOOD FRAMING.
8. PROVIDE ALL SAFETY BARRICADES TO PROTECT PUBLIC AT LARGE, COMPLY WITH APPLICABLE REGULATIONS.
9. DEMOLITION OF STRUCTURAL, MECHANICAL, PLUMBING, FIRE PROTECTION OR ELECTRICAL ITEMS ENCOUNTERED IN AREAS INTENDED TO BE DEMOLISHED ARE DESCRIBED IN RESPECTIVE DRAWINGS AND SPECIFICATIONS. EACH CONTRACTOR SHALL COORDINATE THEIR WORK WITH THE WORK OF OTHER ASSOCIATED CONTRACTORS.
10. GENERAL CONTRACTOR SHALL NOTIFY ALL APPLICABLE UTILITIES COMPANIES OF WORK THAT REQUIRE UTILITY DISRUPTION WITH ADEQUATE TIME FRAME TO ALLOW THEM TO COORDINATE THAT EVENT.

SELECTIVE DEMOLITION REQUIREMENTS:

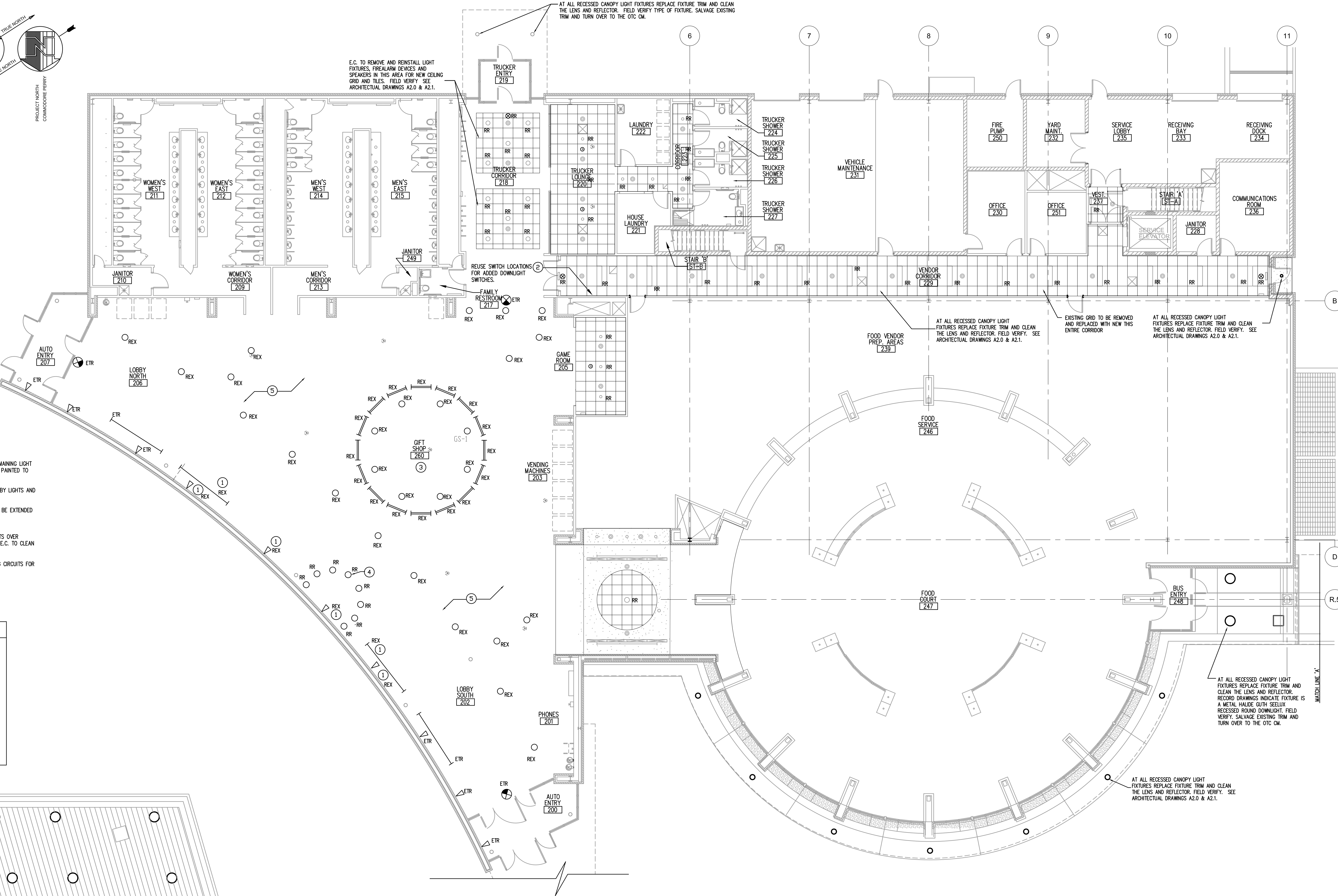
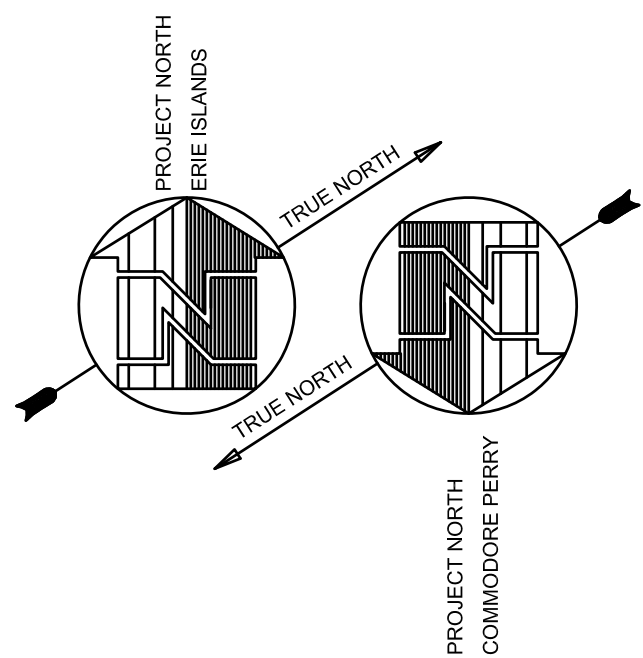
1. COORDINATE ALL DEMOLITION WORK WITH OWNER.
2. REMOVE EXISTING ELEMENTS AS INDICATED BY DASHED LINES. SURFACES OF EXISTING AREAS WHICH HAVE BEEN ALTERED BY DEMOLITION NOT SPECIFICALLY CALLED FOR SHALL BE REPAIRED AND FINISHED TO MATCH THE ADJACENT SURFACES. PROTECT ALL REMAINING SURFACES, FLOORS, WALLS, AND CEILINGS FROM AREAS OF DEMOLITION AND CONSTRUCTION.
3. CONTRACTOR(S) PERFORMING DEMOLITION WORK SHALL BE RESPONSIBLE TO REPAIR & PREPARE ALL ADJACENT SUBSTRATES FOR APPLICATION OF NEW FINISHES REQUIRED AND AS SPECIFIED WHERE BUILDING COMPONENTS HAVE BEEN REMOVED. WHERE NEW FINISHES ARE NOT REQUIRED OR SPECIFIED THE DEMOLITION CONTRACTOR SHALL REPAIR EXISTING SUBSTRATES TO MATCH ADJACENT SUBSTRATES.
4. ALL BUILDING SERVICES REQUIRED TO MAINTAIN BUILDING OPERATION OF OTHER FLOORS (ABOVE OR BELOW OR IN ADJOINING SPACES) SHALL BE MAINTAINED. BUILDING SERVICES IN FINISHED SPACES SHALL BE CONCEALED, UNLESS OTHERWISE INDICATED. BUILDING SERVICES ENCOUNTERED IN DEMOLISHED PARTITIONS AND CEILINGS WHICH ARE TO REMAIN SHALL BE REROUTED AND CONCEALED. THOSE BUILDING SERVICES THAT ARE INDICATED TO BE ABANDONED SHALL BE CAPED AND CONCEALED IN THE FLOOR WALL OR CEILING. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL SERVICES PRIOR TO REMOVAL AND DISCONNECTION INCLUDING ELECTRICAL, HVAC, PLUMBING, SECURITY, AND TELEPHONE DATA FOR ADJOINING OCCUPED SPACES.
5. PROTECT EXISTING SURFACES TO REMAIN DURING DEMOLITION. DAMAGE TO SURFACES NOT BEING DEMOLISHED SHALL BE REPAIRED AT THE DEMOLISHING CONTRACTOR'S EXPENSE.
6. THE CONTRACTOR IS TO PROMPTLY REPAIR ALL DAMAGE CAUSED TO ADJACENT AREAS BY DEMOLITION AT NO ADDITIONAL EXPENSE TO THE OWNER. CONTRACTOR IS TO PATCH AS REQUIRED TO MATCH EXISTING ADJACENT AREA IN MATERIAL, FINISH AND COLOR TO THE SATISFACTION OF THE ARCHITECT AND OWNER.
7. IN ALL AREAS WHERE DEMOLITION CAUSES UNEVENNESS AND/OR VOIDS IN THE FLOORS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND FLOOR LEVELING TO LEVEL FLOOR WITH ADJACENT SURFACES. FLOOR LEVELING MATERIAL SHALL BE COMPATIBLE WITH NEW FLOOR FINISH MATERIALS.
8. IN ALL AREAS WHERE DEMOLITION CAUSES UNEVENNESS AND/OR VOIDS IN PLASTER AND GYPSUM BOARD WALLS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND LEVELING THE WALL WITH ADJACENT SURFACES. APPLY A SINK COATING TO WALL SURFACES WITH EXTENSIVE VOIDS AND/OR UNEVENNESS.
9. ALL PROJECTING OR SURFACE MOUNTED ITEMS ASSOCIATED WITH DEMOLITION SHALL BE EITHER REMOVED, CAPED AND/OR CONCEALED BEHIND FINISHED SURFACES UNLESS NOTED OTHERWISE IN THE CONTRACT DOCUMENTS.
10. EACH CONTRACTOR SHALL PATCH AND REPAIR EXISTING WALLS AND FLOORS ASSOCIATED WITH THEIR WORK INCLUDING REMOVED EQUIPMENT, ANCHORS AND FASTENERS TO THE ARCHITECT AND OWNER'S SATISFACTION.
11. COORDINATE DEMOLITION FLOOR FINISH PLAN AND FINISH SCHEDULE FOR FLOOR AND BASE FINISH DEMOLITION.
12. WHERE ITEMS ARE SHOWN TO BE REMOVED, CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN REQUIRED FIRE RATINGS BY PROVIDING NECESSARY FIRESTOPPING, OR FIRE RATED ASSEMBLIES. PATCHED AREAS SHALL COMPLY WITH APPLICABLE CODES.
13. CONTRACTOR SHALL COORDINATE REMOVAL OF EXISTING FINISHES WITH MANUFACTURER OF INTRODUCED NEW FINISHES TO ENSURE MATERIAL COMPATIBILITY. REFER TO FINISH SCHEDULE, SPECIFICATIONS AND MANUFACTURER'S LITERATURE FOR ADDITIONAL INFORMATION.
14. PRIOR TO DEMOLITION WORK, REMOVE ITEMS TO BE SALVAGED OR REINSTALLED. DELIVER TO OWNER ALL ITEMS SO NOTED.
15. REMOVE EXISTING FLOOR AND BASE MATERIALS IN AREAS SCHEDULED TO RECEIVE NEW FLOORING.
16. REMOVE EXISTING CEILING MATERIALS AND SUPPORT SYSTEMS IN AREAS SCHEDULED TO RECEIVE NEW CEILINGS.
17. REMOVE EXISTING DEMOLITION WITH REFLECTED CEILING PLANS FOR CEILING DEMOLITION.
18. REMOVE EXISTING WALL COVERINGS IN AREAS SCHEDULED TO RECEIVE NEW WALL FINISHES.

KEYED NOTES:

1. MAINTAIN CIRCUIT CONTINUITY WITH REMAINING LIGHT FIXTURES. PROVIDE BLANK COVER PLATE PAINTED TO MATCH ADJACENT SURFACE.
2. EXISTING WALL SWITCHES CONTROL LBBY LIGHTS AND GIFT SHOP LIGHTS.
3. ALL CIRCUITS WITHIN GIFT SHOP SHALL BE EXTENDED TO RENOVATED GIFT SHOP LOCATION.
4. REMOVE AND RELOCATE PENDANT LIGHTS OVER VISITORS DESK TO NEW DESK LOCATION. E.C. TO CLEAN AND RE-PAINT. TYPICAL FOR (QTY-6)
5. MAINTAIN ALL EXISTING LOBBY LIGHTING CIRCUITS FOR RE-USE.

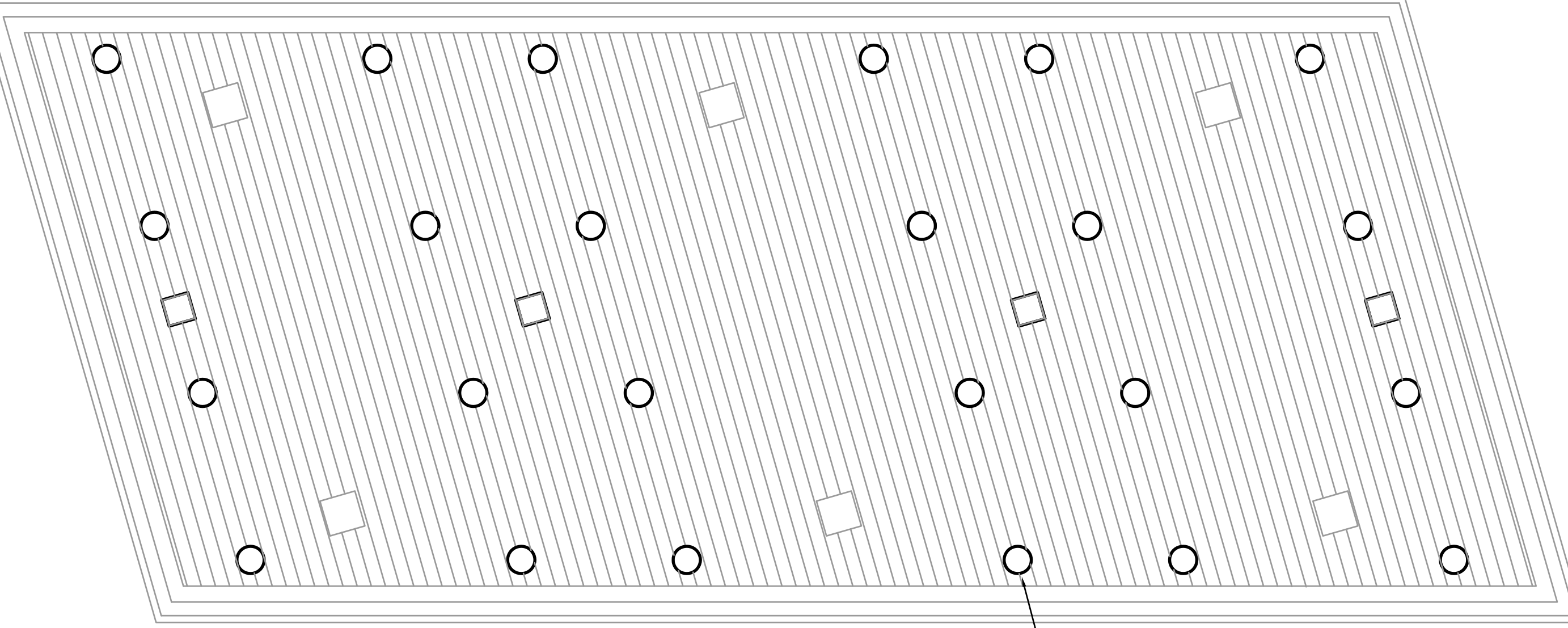
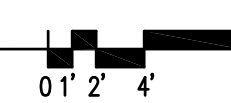
ABBREVIATIONS

AF	ABOVE FINISHED FLOOR
EC	ELECTRICAL CONTRACTOR
ETR	EXISTING TO REMAIN
EXIST	EXISTING
GC	GENERAL CONTRACTOR
REX	REMOVE EXISTING DEVICE COMPLETE
RR	REMOVE AND REINSTALL
CM	CONSTRUCTION MANAGER



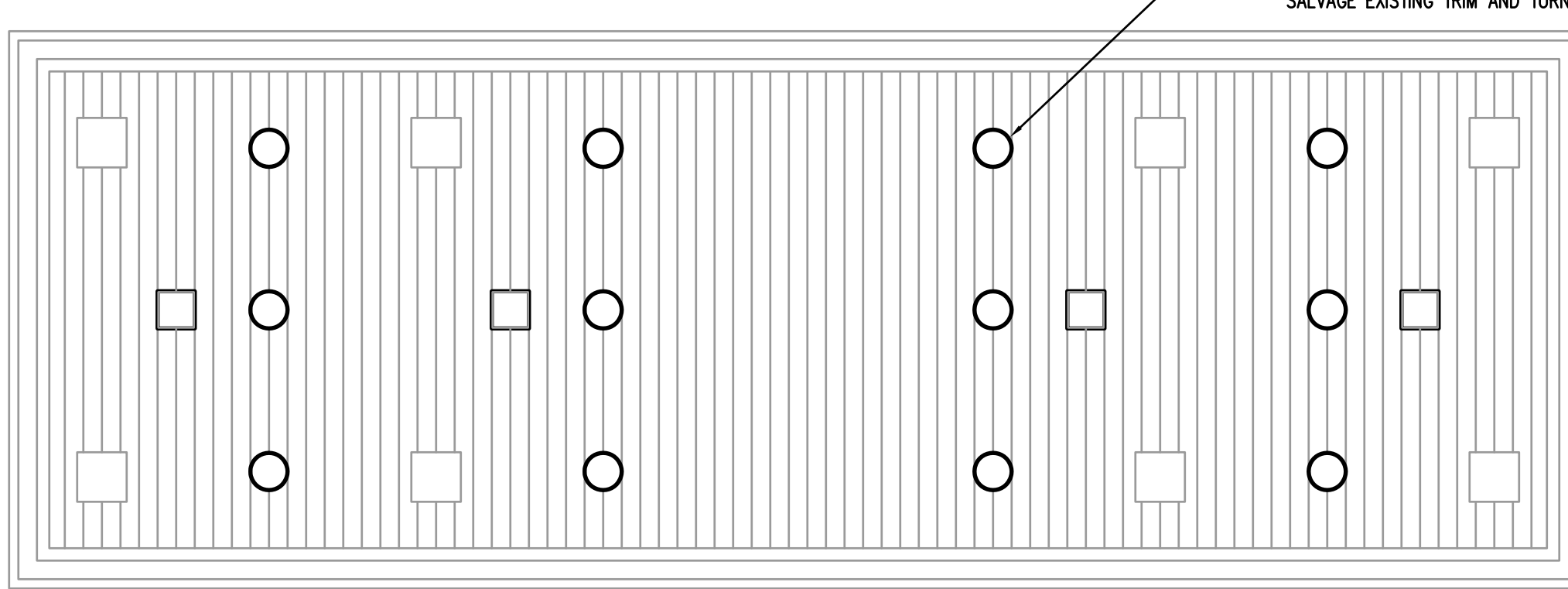
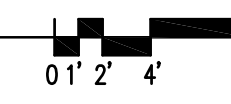
FIRST FLOOR LIGHTING AND DEMOLITION PLAN

ED.1 SCALE: 1/8" = 1'-0"



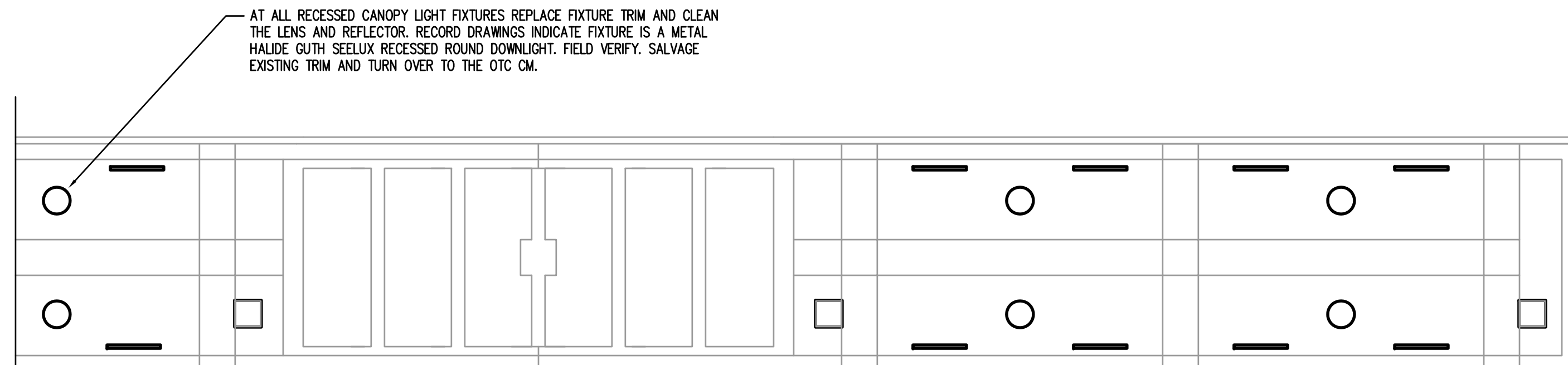
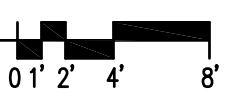
AUTOMOBILE FUELING CANOPY LIGHTING PLAN

ED.1 SCALE: 1/8" = 1'-0"



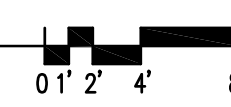
TRUCK FUELING CANOPY LIGHTING PLAN

ED.1 SCALE: 1/8" = 1'-0"



PARTIAL REFLECTED LIGHTING PLAN - BUS ENTRY EXTERIOR CANOPY

ED.1 SCALE: 1/8" = 1'-0"



DATES AND REVISIONS

No.	Date/Description
7/9/12	BD & PDMT
9/16/12	RE-BD



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13300 Shaker Boulevard Cleveland, Ohio 44124  
Phone: (216) 494-5800 Fax: (216) 494-5893  
www.rlbassoc.com info@rlbassoc.com

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**SERVICE PLAZA RENOVATIONS**  
Erie Islands and Commodore Perry  
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ELECTRICAL LIGHTING AND DEMOLITION PLAN

DRAWN BY:	RA
CHECKED BY:	JEM
RLB NO.:	6744.09
OTC NO.:	53-12-02
SERVICE PLAZA	SP-4
DRAWING NO.	E0.1
SHT.	22 OF 27



SELECTIVE DEMOLITION REQUIREMENTS:

- COORDINATE ALL DEMOLITION WORK WITH OWNER.
- REMOVE EXISTING ELEMENTS AS INDICATED BY DASHED LINES. SURFACES OF EXISTING AREAS WHICH HAVE BEEN ALTERED BY DEMOLITION NOT SPECIFICALLY CALLED FOR SHALL BE REPAIRED AND FINISHED TO MATCH THE ADJACENT SURFACES. PROTECT ALL REMAINING SURFACES, FLOORS, WALLS, AND CEILINGS FROM AREAS OF DEMOLITION AND CONSTRUCTION.
- CONTRACTOR(S) PERFORMING DEMOLITION WORK SHALL BE RESPONSIBLE TO REPAIR & PREPARE ALL ADJACENT SUBSTRATES FOR APPLICATION OF NEW FINISHES REQUIRED AND AS SPECIFIED WHERE BUILDING COMPONENTS HAVE BEEN REMOVED. WHERE NEW FINISHES ARE NOT REQUIRED OR SPECIFIED THE DEMOLITION CONTRACTOR SHALL REPAIR EXISTING SUBSTRATES TO MATCH ADJACENT SUBSTRATES.
- ALL BUILDING SERVICES REQUIRED TO MAINTAIN BUILDING OPERATION OF OTHER FLOORS (ABOVE OR BELOW OR IN ADJACENT SPACES) SHALL BE MAINTAINED. BUILDING SERVICES IN FINISHED SPACES SHALL BE CONCEALED, UNLESS OTHERWISE INDICATED. BUILDING SERVICES ENCOUNTERED IN DEMOLISHED PARTITIONS AND CEILINGS WHICH ARE TO REMAIN SHALL BE REPAIRED AND CONCEALED. THOSE BUILDING SERVICES THAT ARE INDICATED TO BE ABANDONED SHALL BE CAPED AND CONCEALED IN THE FLOOR WALL OR CEILING. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL SERVICES PRIOR TO REMOVAL AND DISCONNECTION INCLUDING ELECTRICAL, HVAC, PLUMBING, SECURITY, AND TELEPHONE/DATA FOR ADJACENT OCCUPIED SPACES.
- PROTECT EXISTING SURFACES TO REMAIN DURING DEMOLITION. DAMAGE TO SURFACES NOT BEING DEMOLISHED SHALL BE REPAIRED AT THE DEMOLITION CONTRACTOR'S EXPENSE.
- THE CONTRACTOR IS TO PROMPTLY REPAIR ALL DAMAGE CAUSED TO ADJACENT AREAS BY DEMOLITION AT NO ADDITIONAL EXPENSE TO THE OWNER. CONTRACTOR IS TO PATCH AS REQUIRED TO MATCH EXISTING ADJACENT AREA IN MATERIAL, FINISH AND COLOR TO THE SATISFACTION OF THE ARCHITECT AND OWNER.
- IN ALL AREAS WHERE DEMOLITION CAUSES UNEVENNESS AND/OR VOIDS IN THE FLOORS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND LEVELING TO LEVEL FLOOR WITH ADJACENT SURFACES. FLOOR LEVELING MATERIAL SHALL BE COMPATIBLE WITH NEW FLOOR FINISH MATERIALS.
- IN ALL AREAS WHERE DEMOLITION CAUSES UNEVENNESS AND/OR VOIDS IN PLASTER AND GYPSUM BOARD WALLS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND LEVELING THE WALL WITH ADJACENT SURFACES. APPLY A SKIN COATING TO WALL SURFACES WITH EXTENSIVE VOIDS AND/OR UNEVENNESS.
- ALL PROJECTING OR SURFACE MOUNTED ITEMS ASSOCIATED WITH DEMOLITION SHALL BE EITHER REMOVED, CARPED AND/OR CONCEALED BEHIND FINISHED SURFACES UNLESS NOTED OTHERWISE IN THE CONTRACT DOCUMENTS.
- EACH CONTRACTOR SHALL PATCH AND REPAIR EXISTING WALLS AND FLOORS ASSOCIATED WITH THEIR WORK INCLUDING REMOVED EQUIPMENT, ANCHORS AND FASTENERS TO THE ARCHITECT AND OWNER'S SATISFACTION.
- COORDINATE DEMOLITION FLOOR FINISH PLAN AND FINISH SCHEDULE FOR FLOOR AND BASE FINISH DEMOLITION.
- WHERE ITEMS ARE SHOWN TO BE REMOVED, CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN REQUIRED FIRE RATINGS BY PROVIDING NECESSARY PRESTOPPING, OR FIRE RATED ASSEMBLIES. PATCHED AREAS SHALL COMPLY WITH APPLICABLE CODES.
- CONTRACTOR SHALL COORDINATE REMOVAL OF EXISTING FINISHES WITH MANUFACTURER OF INTENDED NEW FINISHES TO ENSURE MATERIAL COMPATIBILITY. REFER TO FINISH SCHEDULE, SPECIFICATIONS AND MANUFACTURER'S LITERATURE FOR ADDITIONAL INFORMATION.
- PROVIDE DEMOLITION WORK. REMOVE ITEMS TO BE SALVAGED OR REINSTALLED. DELIVER TO OWNER ALL ITEMS SO NOTED.
- REMOVE EXISTING FLOOR AND BASE MATERIALS IN AREAS SCHEDULED TO RECEIVE NEW FLOORING.
- REMOVE EXISTING CEILING MATERIALS AND SUPPORT SYSTEMS IN AREAS SCHEDULED TO RECEIVE NEW CEILINGS.
- COORDINATE DEMOLITION WITH REFLECTED CEILING PLANS FOR CEILING DEMOLITION.
- REMOVE EXISTING WALL COVERINGS IN AREAS SCHEDULED TO RECEIVE NEW WALL FINISHES.

GENERAL DEMOLITION REQUIREMENTS:

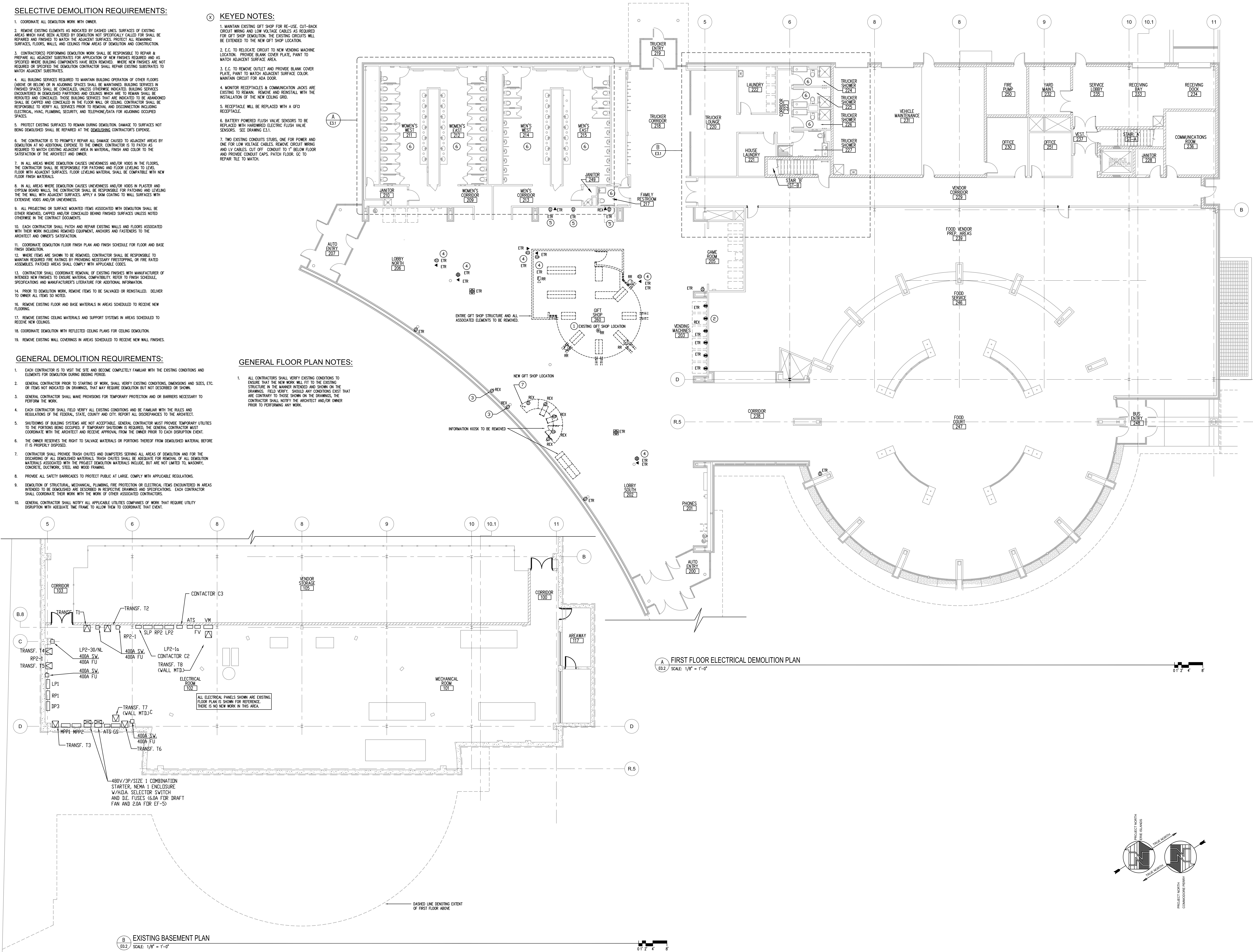
- EACH CONTRACTOR IS TO VISIT THE SITE AND BECOME COMPLETELY FAMILIAR WITH THE EXISTING CONDITIONS AND ELEMENTS FOR DEMOLITION DURING BIDDING PERIOD.
- GENERAL CONTRACTOR PRIOR TO STARTING OF WORK, SHALL VERIFY EXISTING CONDITIONS, DIMENSIONS AND SIZES, ETC. OR ITEMS NOT INDICATED ON DRAWINGS, THAT MAY REQUIRE DEMOLITION BUT NOT DESCRIBED OR SHOWN ON THE DRAWINGS. FIELD VERIFY. SHOULD ANY CONDITIONS EXIST THAT ARE CONTRARY TO THOSE SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND/OR OWNER PRIOR TO PERFORMING ANY WORK.
- GENERAL CONTRACTOR SHALL MAKE PROVISIONS FOR TEMPORARY PROTECTION AND OR BARRIERS NECESSARY TO PERFORM THE WORK.
- EACH CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND BE FAMILIAR WITH THE RULES AND REGULATIONS OF THE FEDERAL, STATE, COUNTY AND CITY. REPORT ALL DISCREPANCIES TO THE ARCHITECT.
- SHUTDOWNS OF BUILDING SYSTEMS ARE NOT ACCEPTABLE. GENERAL CONTRACTOR MUST PROVIDE TEMPORARY UTILITIES TO THE PORTIONS BEING OCCUPIED. IF TEMPORARY SHUTDOWN IS REQUIRED, THE GENERAL CONTRACTOR MUST COORDINATE WITH THE ARCHITECT AND RECEIVE APPROVAL FROM THE OWNER PRIOR TO EACH DISRUPTION EVENT.
- THE OWNER RESERVES THE RIGHT TO SALVAGE MATERIALS OR PORTIONS THEREOF FROM DEMOLISHED MATERIAL BEFORE IT IS PROPERLY DISPOSED.
- CONTRACTOR SHALL PROVIDE TRASH CHUTES AND DUMPSTERS SERVING ALL AREAS OF DEMOLITION AND FOR THE DISCARDING OF ALL DEMOLISHED MATERIALS. TRASH CHUTES SHALL BE ADEQUATE FOR REMOVAL OF ALL DEMOLITION MATERIALS ASSOCIATED WITH THE PROJECT DEMOLITION MATERIALS INCLUDING, BUT ARE NOT LIMITED TO, MASONRY, CONCRETE, DUCTWORK, STEEL AND WOOD FRAMING.
- PROVIDE ALL SAFETY BARRICADES TO PROTECT PUBLIC AT LARGE. COMPLY WITH APPLICABLE REGULATIONS.
- DEMOLITION OF STRUCTURAL, MECHANICAL, PLUMBING, FIRE PROTECTION OR ELECTRICAL ITEMS ENCOUNTERED IN AREAS INTENDED TO BE DEMOLISHED ARE DESCRIBED IN RESPECTIVE DRAWINGS AND SPECIFICATIONS. EACH CONTRACTOR SHALL COORDINATE THEIR WORK WITH THE WORK OF OTHER ASSOCIATED CONTRACTORS.
- GENERAL CONTRACTOR SHALL NOTIFY ALL APPLICABLE UTILITIES COMPANIES OF WORK THAT REQUIRE UTILITY DISRUPTION WITH ADEQUATE TIME FRAME TO ALLOW THEM TO COORDINATE THAT EVENT.

KEYED NOTES:

- MAINTAIN EXISTING GIFT SHOP FOR RE-USE. CUT-BACK CIRCUIT WIRING AND LOW VOLTAGE CABLES AS REQUIRED FOR GIFT SHOP DEMOLITION. THE EXISTING CIRCUITS WILL BE EXTENDED TO THE NEW GIFT SHOP LOCATION.
- E.G. TO RELOCATE CIRCUIT TO NEW VENDING MACHINE LOCATION. PROVIDE BLANK COVER PLATE, PAINT TO MATCH ADJACENT SURFACE AREA.
- E.G. TO REMOVE OUTLET AND PROVIDE BLANK COVER PLATE, PAINT TO MATCH ADJACENT SURFACE COLOR. MAINTAIN CIRCUIT FOR ADA DOOR.
- MONITOR RECEPTACLES & COMMUNICATION JACKS ARE EXISTING TO REMAIN. REMOVE AND REINSTALL WITH THE INSTALLATION OF THE NEW CEILING GRID.
- RECEPTACLE WILL BE REPLACED WITH A GFI RECEPTACLE.
- BATTERY POWERED FLUSH VALVE SENSORS TO BE REPLACED WITH HARDWIRED ELECTRIC FLUSH VALVE SENSORS. SEE DRAWING E-1.
- TWO EXISTING CONDUITS STUBS, ONE FOR POWER AND ONE FOR LOW VOLTAGE CABLES. REMOVE CIRCUIT WIRING AND LV CABLES. CUT OFF CONDUIT TO 1" BELOW FLOOR AND PROVIDE CONDUIT CAPS. PATCH FLOOR. GC TO REPAIR TILE TO MATCH.

GENERAL FLOOR PLAN NOTES:

- ALL CONTRACTORS SHALL VERIFY EXISTING CONDITIONS TO ENSURE THAT THE NEW WORK WILL FIT TO THE EXISTING STRUCTURE IN THE MANNER INTENDED AND SHOWN ON THE DRAWINGS. FIELD VERIFY. SHOULD ANY CONDITIONS EXIST THAT ARE CONTRARY TO THOSE SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND/OR OWNER PRIOR TO PERFORMING ANY WORK.



DATES AND REVISIONS

No.	Date/Description
7/9/12	BD & PDMP
9/16/12	RE-BD

RICHARD L. BOWEN  
+ ASSOCIATES INC.

13300 Shaker Boulevard Cleveland, Ohio 44124  
Phone: (216) 491-5800 Fax: (216) 491-5853  
www.rlbassoc.com rlb@rlbassoc.com

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OHIO TURNPIKE COMMISSION  
SERVICE PLAZA RENOVATIONS  
Erie Islands and Commodore Perry  
Milepost 100 - Sandusky County, Ohio

ELECTRICAL POWER AND DEMOLITION PLAN

DRAWN BY: RA

CHECKED BY: JEM

RLB NO.: 6744.09

OTC NO.: 53-12-02

SERVICE PLAZA SP-4

DRAWING NO. E0.2

SHT. 23 OF 27







3. VISITORS KIOSK: E.C. TO END TRIM WORK FROM EXISTING RECEIPTER CROUSE AT SHOW, REMOVE RECEIPTER AND PROVIDE BUCK EXTENSION ON RECEIPTER BUCK TO ACCOMMODATE CONNECTION OF SURFACE METAL RAYCAW. EXISTING RECEIPTER CROUSE DRIVING TO KIOSK USING SINGLE CHANNEL SURFACE METAL RAYCAW. EXISTING CROUSE AT SHOW PAINT TO MATCH WALLS. E.C. TO END TRIM BETWEEN SURFACE METAL RAYCAW AND KIOSK. EXTEND CROUSE TO KIOSK. E.C. TO FINISH TO KIOSK RECEIPTER AS SHOWN.

4. MOUNT AT COUNTER HEIGHT FOR LOTTERY EQUIPMENT. FIELD VERIFY HEIGHT.

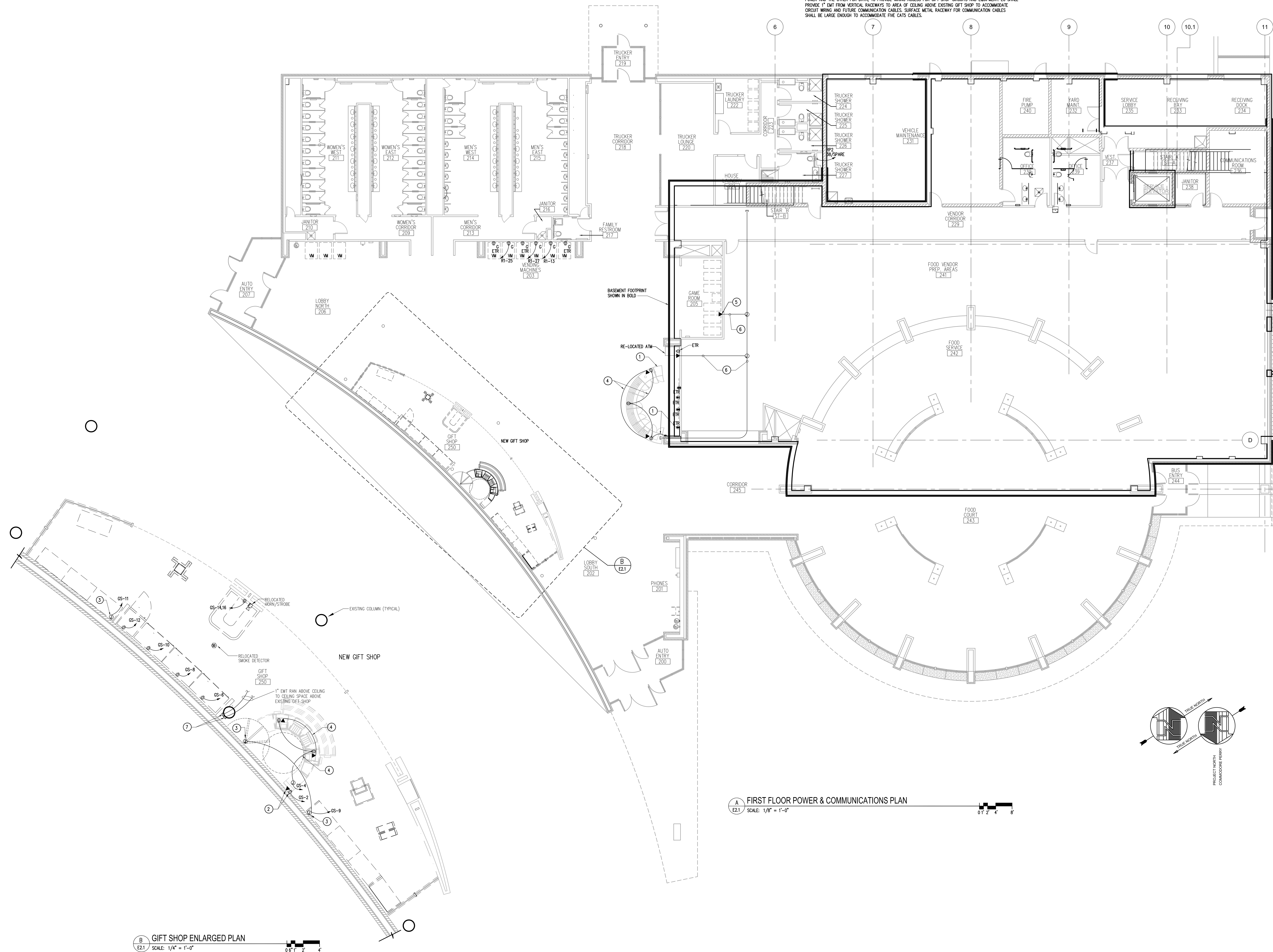
5. PROVIDE OUTLET BOX FOR VENDOR FUTURE. MAKE HARDWIRED CONNECTION PER VENDOR DIRECT. FIELD VERIFY SWITCH LOCATION.

6. E.C. TO RUN 1" FIMC THRU MILLWORK TO CONNECT COMMODITY RECEIPTS TOGETHER AS WELL AS CONNECTING RECEIPTS TOGETHER WITH CASHBOOK AS SHOWN. FIELD VERIFY LOCATION FOR RECEIPTS AND CASHBOOK OUTLET.

7. LOTTERY TOOTHY MACHINE BEING RELOCATED ALONG GAME ROOM WALL. E.C. TO FIELD VERIFY LOCATION AND USE RECEIPTER VACATED WHEN THE "CLAM" MACHINE IS MOVED.

8. 1" EMT CONDUIT SYSTEM TO CABLE TRAY IN BASEMENT FOR LOW VOLTAGE CABLES SERVING KIOSK, RE-LOCATED AT AND LOTTERY MACHINE. STUD CONTINUE TO KIOSK CASHBOOK AS SHOWN. FIELD VERIFY ROUTING.

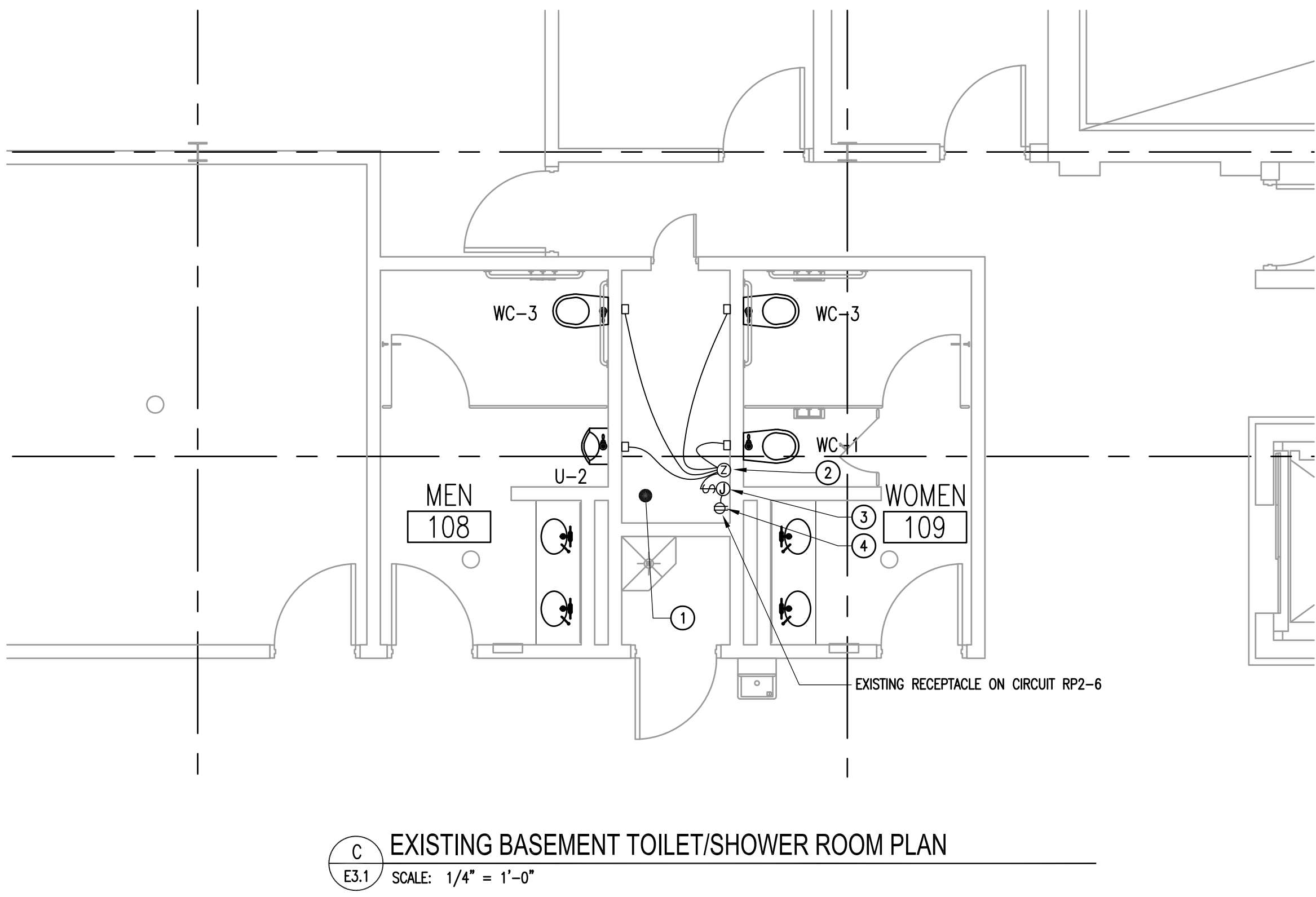
9. E.C. SHALL PROVIDE TWO VERTICAL, SINGLE CHANNEL SURFACE METAL RAYCAWS ON EXISTING CONDUIT. ONE SHALL PROVIDE 1" FIMC TO KIOSK RECEIPTER AND THE OTHER SHALL PROVIDE 1" FIMC TO KIOSK CASHBOOK. E.C. SHALL PROVIDE 1" EMT FROM VERTICAL RAYCAWS TO AREA OF CEILING ABOVE EXISTING GIP BOX TO ACCOMMODATE CROUSE DRIVING AND FUTURE COMMODITY RECEIPTS. SURFACE METAL RAYCAW FOR CONNECTION CABLES TO KIOSK RECEIPTER AND CASHBOOK.



**FIRST FLOOR POWER & COMMUNICATIONS PLAN**  
SCALE: 1/8" = 1'-0"

**B** GIFT SHOP ENLARGED PLAN  
E2.1 SCALE: 1/4" = 1'-0"







P:\01\4\16\1604\1604-004 - RENOVATION OF TURNPIKE SERVICE PLAZA\01\1604-004\1604-004-001.dwg (PLOTTER: 600x1200) ON: 2/28/2016 10:41:00 AM

ABBREVIATIONS	
1PH	SINGLE PHASE
3PH	THREE PHASE
AFF	ABOVE FINISHED FLOOR
AFG	ABOVE FINAL GRADE
AHJ	AUTHORITY HAVING JURISDICTION
AL	ALUMINUM
BFG	BELOW FINAL GRADE
BRKR	CIRCUIT BREAKER
C	CONDUIT
CKT	CIRCUIT
COORD	COORDINATE
CLG	CEILING
CU	COPPER
EC	ELECTRICAL CONTRACTOR
EMT	ELECTRICAL METALLIC TUBING
ETR	EXISTING TO REMAIN
EWI	ELECTRIC WATER HEATER
EWI	ELECTRIC WATER COOLER
EXIST	EXISTING
FLR	FLOOR
FMC	FLEXIBLE METAL CONDUIT
GC	GENERAL CONTRACTOR
GND	GROUND
HGT	HEIGHT
IAW	IN ACCORDANCE WITH
IG	ISOLATED GROUND
LL	LANDLORD
LCP	LIGHTING CONTROL PANEL
LT, LTS	LIGHT, LIGHTS
MC	MECHANICAL CONTRACTOR
MCT	MOUNTED/MOUNTING
NL	NIGHT LIGHT
OCP	OVERCURRENT PROTECTION
PNL	PANEL/PANELBOARD
POC	POINT OF CONTACT
REC	RECEPTACLE
REX	REMOVE EXISTING DEVICE COMPLETE
RGS	RIGID GALVANIZED STEEL CONDUIT
RR	REMOVE AND RELOCATE
SCHD	SCHEDULE
UNO	UNLESS NOTED OTHERWISE
WP	WEATHERPROOF
XMR	TRANSFORMER

SYMBOL LEGEND	
SYMBOL	DESCRIPTION
RT-3	BRANCH CIRCUIT HOMERUN TO PANEL "RT", CIRCUIT #3 (TYPICAL)
	DRY-TYPE TRANSFORMER, HANG FROM STRUCTURE
	277/480V 3ø 4W ELECTRICAL PANEL
	120/208V 3ø 4W ELECTRICAL PANEL
	DUPLEX RECEPTACLE, NEMA 5-20, G INDICATES GFCI TYPE, MOUNT 18" AFF UNO
	DUPLEX RECEPTACLE, NEMA 5-20, MOUNT 18" AFF UNO
	QUADPLEX RECEPTACLE, NEMA 5-20.
	SWITCH, SINGLE POLE, 20A, 125/277V. SUBSCRIPT INDICATES SWITCHING SCHEME.
	DISCONNECT SWITCH, VOLTAGE AS REQUIRED, AMPACITY AS NOTED
	J-BOX, CEILING OR WALL MTD. SIZE AND TYPE AS REQUIRED
	COMMUNICATION OUTLET, PROVIDE 3"x2"x2-1/8" BOX WITH IVORY COVER PLATE CONTAINING FOUR RJ-45 NON-KEYED OPENINGS. FIELD COORDINATE FINAL LOCATION OF COMMUNICATION BOXES, COMMUNICATION CABLES BY OTHERS. EC SHALL PROVIDE 1" EMT EMPTY CONDUIT SYSTEM FOR COMMUNICATIONS CABLES AS SHOWN AND NOTED ON PLANS. EMPTY CONDUIT SYSTEM SHALL TERMINATE AT EXISTING CABLE TRAY IN BASEMENT. PROVIDE PULL STRING IN ALL COMMUNICATION CONDUITS, ENTIRE LENGTH.

GENERAL ELECTRICAL NOTES:

- ALL CONDUIT PENETRATIONS THROUGH FIRE RATED WALLS, FLOORS, OR SHAFTS SHALL BE SEALED IN ACCORDANCE WITH SPECIFICATION SECTION 16050. CONDUITS ENTERING BUILDING FROM UNDERGROUND EXTERIOR SHALL HAVE "UNK SEAL" PRODUCTS, OR EQUAL, AS DIRECTED BY ARCHITECT. (EMPTY CONDUITS SHALL BE SEALED AND CAPPED).
- CONTRACTOR SHALL COORDINATE LOCATIONS OF ALL INTERIOR LIGHTING FIXTURES AND CEILING MOUNTED DEVICES WITH THE ARCHITECTURAL REFLECTED CEILING PLANS, ELEVATIONS, SECTIONS AND DETAILS. COORDINATE LOCATIONS OF RECEPTACLES AND OTHER WALL MOUNTED DEVICES WITH THE ARCHITECTURAL WALL ELEVATIONS AND FINISHES.
- THE ROUTING OF ALL SURFACE MOUNTED/EXPOSED CONDUIT IN UNFINISHED AREAS (OR WHERE NOTED ON THE DRAWINGS) SHALL BE COORDINATED WITH, AND SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF MECHANICAL EQUIPMENT WITH THE MECHANICAL CONTRACTOR. EXACT ELECTRICAL REQUIREMENTS SHALL BE VERIFIED IN THE FIELD WITH THE EQUIPMENT'S NAMEPLATE DATA. THE CONTRACTOR SHALL MAKE APPROPRIATE ADJUSTMENTS TO WIRE AND FUSE SIZES IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- THE ELECTRICAL WIRING, CONNECTION AND PROTECTION REQUIREMENTS FOR OWNER FURNISHED EQUIPMENT SHALL BE VERIFIED IN THE FIELD WITH THE OWNER'S EQUIPMENT SUPPLIER, AND WITH THE NAMEPLATE DATA. FURNISH THE PROPER NEMA RECEPTACLE CONFIGURATIONS, CONNECTIONS, AND CIRCUITS IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- ALL BRANCH CIRCUITS AND FEEDERS SHALL CONTAIN AN INSULATED GROUNDING CONDUCTOR IN ACCORDANCE WITH SPECIFICATION SECTION 16400. NEUTRAL CONDUCTORS IN RECEPTACLE CIRCUITS SERVING DATA EQUIPMENT LOADS SHALL NOT BE SHARED IN ACCORDANCE WITH SPECIFICATION SECTION 16050.
- THE DISCONNECTING MEANS FOR ALL MOTORS AND EQUIPMENT SHALL BE INSTALLED IN A "READILY ACCESSIBLE" LOCATION AND SHALL HAVE PROPER WORKING SPACE AS DEFINED IN N.E.C. ARTICLE 100 AND 110.
- UTILIZATION OF THE PHRASE "PROVIDED BY" WITHIN THE CONTEXT OF THESE DOCUMENTS SHALL EXPLICITLY REPRESENT "FURNISHED AND INSTALLED BY".
- EXPOSED NON-METALLIC CONDUIT IS NOT PERMITTED AT INTERIOR LOCATIONS. ALL NEW WORK SHALL BE CONCEALED TO GREATEST EXTENT PRACTICAL. DO NOT INSTALL EXPOSED WORK IN PUBLIC AREAS WITHOUT OIA APPROVAL.

NOTE: SCOPE OF WORK SHOWN ON THE DRAWINGS ARE FOR BOTH SERVICE PLAZAS. THE ERE ISLANDS PLAZA IS ON THE NORTH SIDE OF THE TURNPIKE AND THE COMMODORE PERRY PLAZA IS ON THE SOUTH SIDE OF THE TURNPIKE.

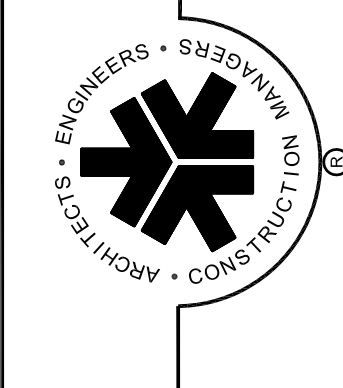
NOTE: EXISTING CIRCUITING SHOWN IN PANEL SCHEDULES WERE TAKEN FROM RECORD DRAWINGS AND CASUAL FIELD OBSERVATION AT THE ERE ISLANDS SERVICE PLAZA AND IS NOT INTENDED TO BE EXACT.

PANELBOARD LOADING SCHEDULE				VOLTS 120/208		PANEL		LP1		LOCATION BASEMENT		
SURFACE MOUNTED				PHASE 3		10 KAIC				EXISTING (ON EMERGENCY PWR)		
GROUND BAR				WIRE 4		MAINS AMPS		225/3 M.L.O.				
CKT	LOAD										LOAD	CKT
No.	DESCRIPTION	VA	AMPS	POLE	A	B	C	POLE	AMPS	VA	DESCRIPTION	No.
1	MENS RR LTG.	700	20	1	1700			1	20	1000	BASEMENT LTG.	2
3	MENS RR LTG.	1200	20	1		1700		1	20	500	PHONES BUS CTR. LTG.	4
5	RR ENT. LTG.	500	20	1			1300	1	20	800	TR INFO GAME VEND LTG.	6
7	WOMENS RR LTG.	700	20	1	1700			1	20	1000	PATRON ENT.	8
9	WOMEN RR LTG.	1200	20	1		1700		1	20	500	LOBBY TRACK	10
11	TRUCKERS ENT.	700	20	1			700	1	20		SPARE	12
13	TRUCKERS ENT.	1200	20	1	1700			1	20	500	LOBBY TRACK	14
15	SPARE		20	1		500		1	20	500	S.W. VENDING RCPT.	16
17	FOOD COURT CORR. LTG.	600	20	1			1100	1	20	500	S.W. VENDING RCPT.	18
19	FOOD COURT CORR. LTG.	1100	20	1	2100			1	20	1000	FOOD CT. DOWN LTG.	20
21	FOOD COURT CORR. LTG.	1100	20	1		1800		1	20	700	FOOD CT. DOWN LTG.	22
23	FOOD COURT CORR. LTG.	1100	20	1			1800	1	20	700	FOOD CT. DOWN LTG.	24
25	FOOD COURT CORR. LTG.	1100	20	1	2100			1	20	1000	FOOD CT. DOWN LTG.	26
27	LOBBY LTG.	1500	20	1		2500		1	20	1000	FOOD CT. DOWN LTG.	28
29	LOBBY LTG.	1500	20	1			2500	1	20	1000	CENTER FOOD CT. LTG.	30
31	GIFT SHOP LTG.	1000	20	1	2000			1	20	1000	CENTER FOOD CT. LTG.	32
33	LOBBY LTG.	1100	20	1		1350		1	20	250	TRACK LTG.	34
35	CANOPY COOL. LTG.	700	20	1			2000	1	20	1300	FOOD CT. & CANOPY LTG.	36
37						1000		1	20	1000	S.W. VENDING RCPT.	38
39	ASCO TRANSFER SWITCH		70	3		1000		1	20	1000	S.W. VENDING RCPT.	40
41								1	20	1000	EXTNL.	42
TOTAL CONNECTED LOAD			33250	12300	10550	10400						
TOTAL AMPERES			92.4	102.5	87.9	86.7						

PANELBOARD LOADING SCHEDULE				VOLTS 120/208		PANEL		RP1		LOCATION: BASEMENT				
SURFACE MOUNTED				PHASE		3		10 KAIC		EXISTING (ON EMERGENCY PWR)				
GROUND BAR				WIRE		4		MAINS AMPS		225/3 M.L.O.				
CKT	LOAD							LOAD						CKT
No.	DESCRIPTION	VA	AMPS	POLE	A	B	C	POLE	AMPS	VA	DESCRIPTION	No.		
1	BASEMENT ANNEX RCPT.	700	20	1	1500			1	20	800	ADA DOORS	2		
3	BASEMENT ANNEX RCPT.	1200	20	1		2000		1	20	800	LOBBY RCPT	4		
5	EXT. RCPT/ADA DOORS	600	20	1			1200	1	20	500	LOBBY RCPT	6		
7	GAME RM. RCPT.	1000	20	1	2000			1	20	1000	COPIER	8		
9	GAME RM. RCPT.	1200	20	1			1700	1	20	500	FAX MACHINE	10		
11	VENDING MACHINES	1000	20	1			1500	1	20	500	ATM	12		
13	VENDING MACHINES	1000	20	1	1800			1	20	800	M & W RESTRM.	14		
15	VENDING MACHINES	1000	20	1		1800		1	20	800	M & W RESTRM.	16		
17	VENDING MACHINES	1000	20	1			1600	1	20	600	M & W RESTRM.	18		
19	VENDING MACHINES	1000	20	1	2000			1	20	1000	VENDING MACHINE	20		
21	ELECTRIC WATER COOLER	1000	20	1		2000		1	20	1000	WOMENS RR FLUSH VALVE	22		
23	ELECTRIC WATER COOLER	1000	20	1			2000	1	20	1000	MENS RR FLUSH VALVE	24		
25	VENDING RCPT.	1000	20	1	2000			1	20	1000	WASHER	26		
27	VENDING RCPT.	1000	20	1		2000		1	20	1000	WASHER	28		
29	PIPE CHASE RCPT.	800	20	1			1300	1	20	500	DRYER	30		
31	COUNTER DOOR MTR.	1000	20	1	1500			1	20	500	DRYER	32		
33	EF1 & EF2	1400	20	1		2400		1	20	1000	WASHER	34		
35	EF3 & EF7	700	20	1			1200	1	20	500	DRYER	36		
37	RESTRM. SENSORS	500	20	1	700			1	20	200	TRUCKER FLUSH VALVE	38		
39	RESTRM. SENSORS	500	20	1		500		1	20		SPARE	40		
41	FIRE ALARM	1000	20	1			1000	1	20		SPARE	42		
TOTAL CONNECTED LOAD			33700	11500	12400	9800								
TOTAL AMPERES			83.6	95.8	103.3	81.7								

PANELBOARD LOADING SCHEDULE				VOLTS 120/208		PANEL		GS		LOCATION: BASEMENT				
SURFACE MOUNTED				PHASE		3		10 KAIC		EXISTING (ON EMERGENCY PWR)				
GROUND BAR				WIRE		4		MAINS AMPS		50/3 MCB				
CKT	LOAD										LOAD			CKT
No.	DESCRIPTION	VA	AMPS	POLE	A	B	C	POLE	AMPS	VA	DESCRIPTION	No.		
1	GIFT SHOP LTG. 16" TRACK	1200	20	1	2200			1	20	1000	GIFT SHOP RCPT.	2		
3	GIFT SHOP LTG. 16" TRACK	1200	20	1		2200		1	20	1000	GIFT SHOP RCPT.	4		
5	GIFT SHOP LTG. 16" TRACK	1200	20	1			2200	1	20	1000	GIFT SHOP RCPT.	6		
7	GIFT SHOP LTG. 16" TRACK	1200	20	1	2200			1	20	1000	GIFT SHOP RCPT.	8		
9	DISPLAY LTG.	700	20	1		1700		1	20	1000	GIFT SHOP RCPT.	10		
11	DISPLAY LTG.	700	20	1			1700	1	20	1000	GIFT SHOP RCPT.	12		
13	SPACE	30	1	1000				2	20	1000	GIFT SHOP RCPT.	14		
15	SPACE					1000				1000		16		
17	SPACE						0	1	20		SPARE	18		
19	SPACE			0				1	20		SPARE	20		
21	SPACE					0		1	20		SPARE	22		
23	SPACE						0				BLANK	24		
* INDICATES NEW CIRCUIT BREAKER IN EXISTING SPACE														
TOTAL CONNECTED LOAD		14200	5400	4900	3900									
TOTAL AMPERES		39.4	45.0	40.8	32.5									

DATES AND REVISIONS	
No.	Date/Description
7/6/12	BD & PDMT
9/16/12	RE-BD



**RICHARD L. BOWEN**  
**+ ASSOCIATES INC.**  
13300 Shaker Boulevard Cleveland, Ohio 44124  
Phone: (216) 449-5800 Fax: (216) 449-5853  
www.rlbassoc.com rlb@rlbassoc.com

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OHIO TURNPIKE COMMISSION  
**SERVICE PLAZA RENOVATIONS**  
Erie Islands and Commodore Perry  
Milepost 100 - Sandusky County, Ohio  
**ELECTRICAL SCHEDULES AND DETAILS**

DRAWN BY:	RA
CHECKED BY:	JEW
RLB NO.:	6744.09
OTC NO.:	53-12-02
SERVICE PLAZA	SP-4
DRAWING NO.	<b>E3.2</b>
SHT.	27 OF 27